

SCALE: 1/8" = 1'-0"

BRICK VENEER.

CÓLOUR 415TYLE TO BE
DETERMINED BY OWNER.

RIGHT

SCALE: 1/8" = 1'-0"

BRICK VENEER.
COLOUR 4 STYLE TO BE
DETERMINED BY OWNER.

SIDE ELEVATION

EXPOSING BUILDING FACE:

PERMITTED OPENINGS = 32%

COMBUSTIBLE CONSTRUCTION PERMITTED.

NON-COMBUSTIBLE CLADDING REQUIRED E.B.F. TO BE CONSTRUCTED WITH 45 MIN. F.R.R.

ACTUAL OPENINGS = 7.2%

L.D. = 4.0m E.B.F. = 40.6m2

H/L OR L/H = 6.7

TOP OF FOOTING

**GENERAL NOTES** 

ALL WORK PERFORMED AND MATERIAL SUPPLIED SHALL COMPLY TO THE LATEST EDITION OF THE 2012 ONTARIO BUILDING CODE.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE DRAWINGS AND REPORT ANY DISCREPANCIES TO BRANDON HOME DESIGNS INC. PRIOR TO PROCEEDING WITH WORK.

ALL DRAWINGS ARE NOT TO BE SCALED.

ANY CHANGES TO THE DESIGN OF THIS DRAWIN OR USE OF ALTERNATIVE BUILDING MATERIALS SHALL BE NOTIFIED TO BRANDON HOME DESIGN BEFORE COMMENCEMENT OF WORK, UNTIL SUCI CAN BE CHECKED AND APPROVED.

BRANDON HOME DESIGNS INC. IS NOT RESPONSIBLE FOR ANY ENGINEERING REQUIRED BY THE MUNICIPALITY THAT IS NOT IN THE 2012

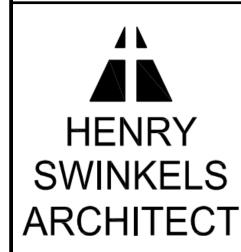
PROVIDE ROOF TRUSS DRAWINGS AND/OR PRE-ENGINEERED FLOOR TRUSS DRAWINGS TO BRANDON HOME DESIGNS INC. FOR VERIFICATION PRIOR TO

MANUFACTURING. SEE SUPPLIER ENGINEERING DATA FOR ALL PRE-ENGINEERED WOOD HEADERS, BEAMS, COLUMNS, PRE-ENGINEERED FLOOR

TRUSSES AND ROOF TRUSSES. CONSULT BRANDON HOME DESIGNS INC. IF A GIRDER TRUSS OR ANY OTHER UNEXPECTED POINT LOADS ARE NOT LOCATED

OR INDICATED ON THE DRAWINGS. BRANDON HOME DESIGNS INC. IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS

PLAN TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS
AND BE SOLELY RESPONSIBLE FOR THE SAME THEREAFTER.



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PROJECT NO:

CN113-6-R

GRADES AND FINISHED GRADES ON SITE. 5, CONFIRM LOCATION AND DEPTH OF FOUNDATION WALL STEP DOWNS ON SITE.

4. CONTRACTOR TO VERIFY ALL EXISTING

BRICK YENEER! COLOUR & STYLE TO BE DETERMINED BY JUNER!

EFT SIDE ELEVATION

PROJECT :

1,287 S.F. BUNGALOW

## **GOLD LEAF PROPERTIES**

CEDAR VIEW ESTATES PARKHILL, ON

DRAWING TITLE:

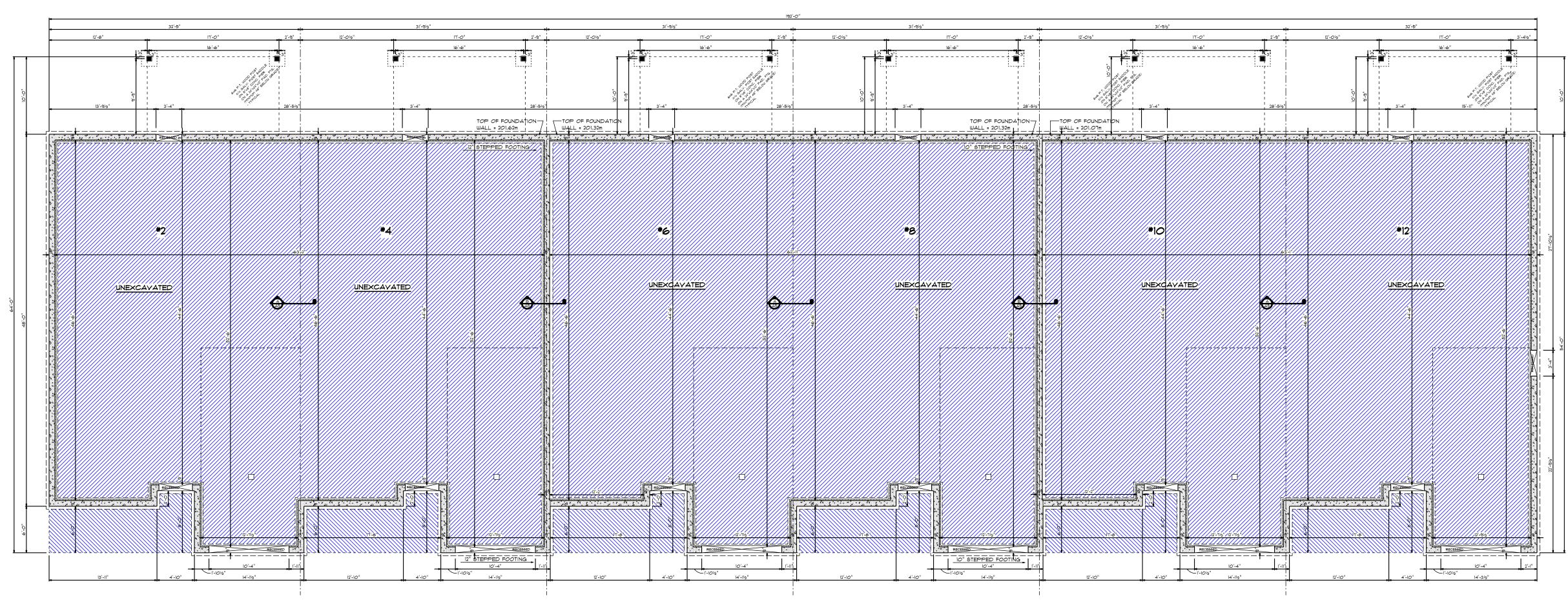
4 ELEVATIONS

R. BRANDON DATE:

SCALE:

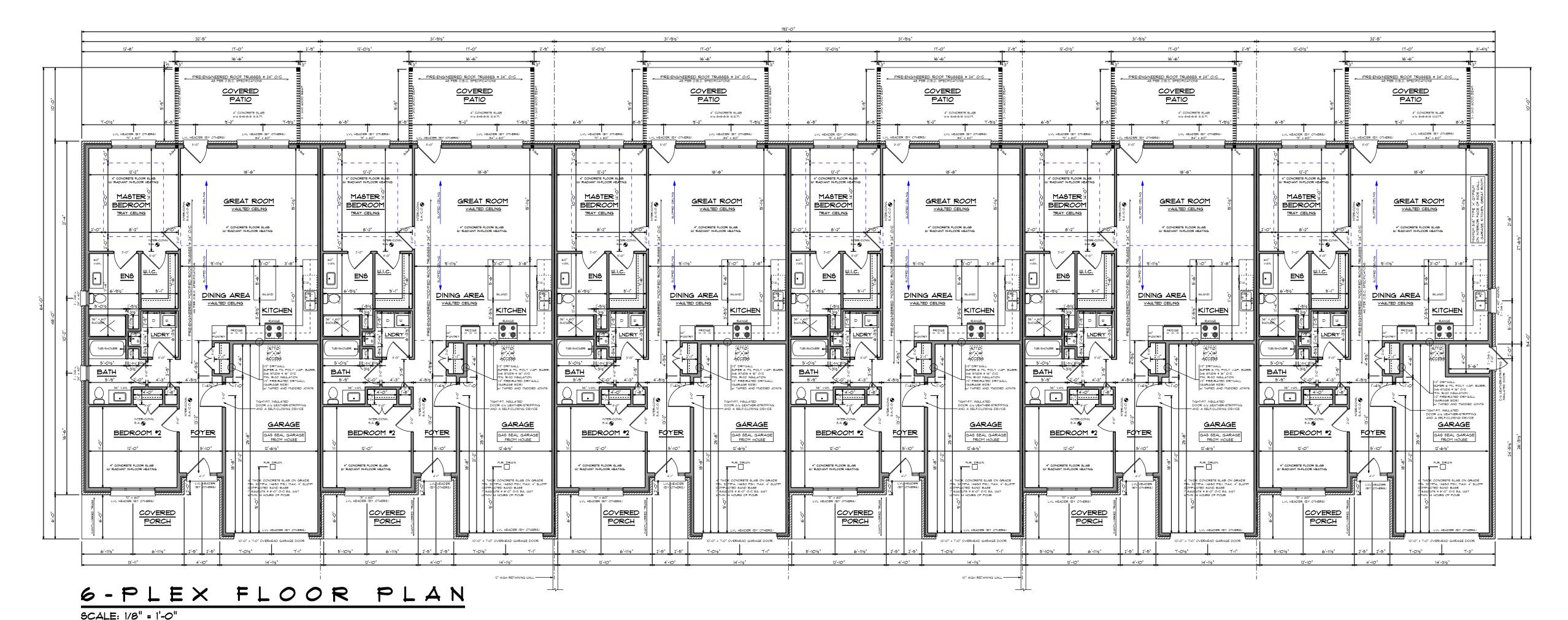
1/8" = 1'-0"

REVERSED SET AUG. 14, 2020



## 6-PLEX FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



- COMPRESSIVE STRENGTH OF UNREINFORCED CONC. @ 28 DAYS - 20 MPA FOR FOOTINGS AND WALLS
- 20 MPA FOR BASEMENT FLOOR SLAB - 32 MPA FOR GARAGE FLOOR SLAB, EXTERIOR SLABS
- 15 MPA FOR ALL OTHER APPLICATIONS (O.B.C. - 2012 - SECTION 9.3.1.6.)
- WATER TO CEMENT RATIO: - 0.45 FOR GARAGE FLOOR SLABS AND EXTERIOR SLABS - 0.65 FOR INTERIOR FLOOR SLABS
- 0.70 FOR ALL OTHER APPLICATIONS (O.B.C. - 2012 - SECTION 9.3.1.7.)
- AIR ENTRAINMENT 5% TO 8% ALL FOOTINGS TO BE ON UNDISTURBED SOIL
- AND MINIMUM 4'-O" BELOW LINE OF FINISH GRADE.

PLUMBING VENTING AS PER SECTION 7.5.5.5.(2) OF OBC 2012: EVERY STOREY WHERE PLUMBING IS OR MAY BE INSTALLED, INCLUDING THE BASEMENT OF A HOUSE. - EXTEND VENTING FOR FUTURE CONNECTIONS. - PROVIDE A VENT PIPE AT LEAST 1 1/2" IN SIZE,

### MAIN FLOOR NOTES

- 1. SEE ALL PROFESSIONAL ENGINEERING, MANUFACTURER SPECIFICATIONS AND DATA FOR ALL PRE-ENGINEERED WOOD HEADERS, BEAMS, COLUMNS, AND PRE-ENGINEERED WOOD FLOOR SYSTEMS.
- 2. GARAGE EXTERIOR DOOR TO BE AN INSULATED DOOR c/w WEATHER-STRIPPING.
- 3, ENTRANCE DOOR FROM GARAGE TO BE A TIGHT-FIT INSULATED DOOR c/w WEATHER-STRIPPING AND A SELF-CLOSING DEVICE,
- 4. GARAGE/HOUSE SEPARATION WALL: 1/2" DRYWALL c/w MUD AND TAPED JOINTS SUPER 6 MIL POLY VAPOUR BARRIER 2x6 WOOD STUDS @ 16" O/C MIN, R-20 BATT/FOAM INSULATION 5/8" FIRE-RATED DRYWALL c/w MUD AND TAPED JOINTS,
- , GARAGE FLOOR TO BE 4" THICK CONCRETE FLOOR SLAB ON GRADE. MINIMUM 32 MPA, WITH 5% TO 8% AIR ENTRAINMENT, MAXIMUM 4" SLUMP COMPACTED SAND BASE.
- 6. GAS SEAL GARAGE FROM HOUSE. ALL DRYWALL JOINTS TO BE MUDDED AND TAPED.
- 7, ALL SMOKE / CO ALARMS ARE TO BE INTER-CONNECTED, SMOKE ALARMS SHALL HAVE A VISUAL LED STROBE LIGHT.
- 8, ALL SMOKE ALARMS SHALL BE INSTALLED SO THAT THERE IS AT LEAST ONE ON EACH STOREY AND IN EACH SLEEPING
- ROOM. (9.10.19.3, OBC 2012) 9. ALL SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING.
- 10. CARBON MONOXIDE ALARMS ARE REQUIRED FOR ALL FUEL APPLIANCES - (O.B.C. 9.33.4.2.(1)). AS WELL AS ADJACENT TO ALL SLEEPING AREAS.
- , A NON-COMBUSTIBLE EXHAUST AIR INTAKE TO BE INSTALLED ABOVE RANGE IN KITCHEN,
- 2. AN EXHAUST AIR INTAKE SHALL BE INSTALLED IN EACH BATHROOM AND WATER CLOSET ROOM. (O.B.C. - 9.32.3.5.(2)) \*\*(EXHAUST FAN IS OPTIONAL WHERE AN HRY UNIT IS INSTALLED)
- 13. ALL LINTELS OVER EXTERIOR OPENINGS TO BE (2) - 2x10s UNLESS OTHERWISE NOTED ON FLOOR PLAN.
- 14. ALL BEARING POSTS SHALL NOT BE LESS THAN WIDTH OF SUPPORTED MEMBER. (O.B.C. - 9.17.4.1.(1))
- 15, ALL BUILT-UP COLUMNS TO BE BOLTED WITH 3/8" DIAMETER BOLTS (MINIMUM) AND SPACED 17 3/4" O/C (MAXIMUM) (O.B.C. - 9.17.4.2.(2)(a)) OR TO BE NAILED WITH 3" NAILS (MINIMUM) AND SPACED 11 3/4" O/C (MAXIMUM) (O.B.C. - 9.17.4.2.(2)(b))
- 6, OPENING DIMENSIONS ON DRAWING ARE THE SIZE OF THE OVERALL UNIT, MATCH ACCORDINGLY TO MANUFACTURER'S WINDOW

ALL WORK PERFORMED AND MATERIAL SUPPLIED

**GENERAL NOTES** 

SHALL COMPLY TO THE LATEST EDITION OF THE 2012 ONTARIO BUILDING CODE.

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SEE SUPPLIER ENGINEERING DATA FOR ALL PRE-ENGINEERED WOOD HEADERS,

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BEAMS, COLUMNS, PRE-ENGINEERED FLOOR

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AND BE SOLELY RESPONSIBLE FOR THE SAME

CANNOT GUARANTEE AGAINST

ALL DETAILS AND DIMENSIONS

**HENRY SWINKELS** |ARCHITECT

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PROJECT NO:

CN113-6-R

PROJECT :

1,287 S.F./UNIT CONDOS

GOLD LEAF **PROPERTIES** 

**CEDAR VIEW ESTATES** 

PARKHILL, ON

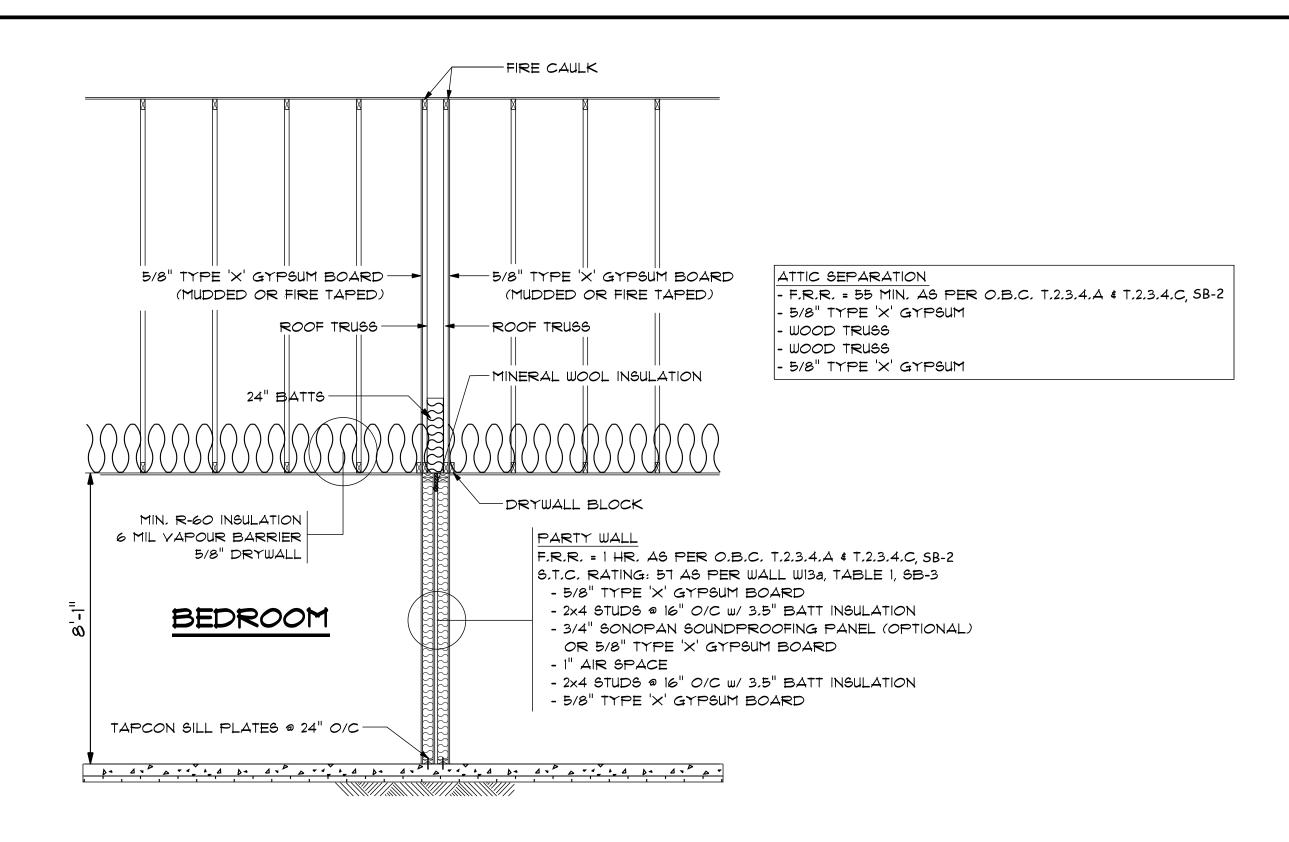
DRAWING TITLE:

FOUNDATION PLAN

MAIN FLOOR PLAN

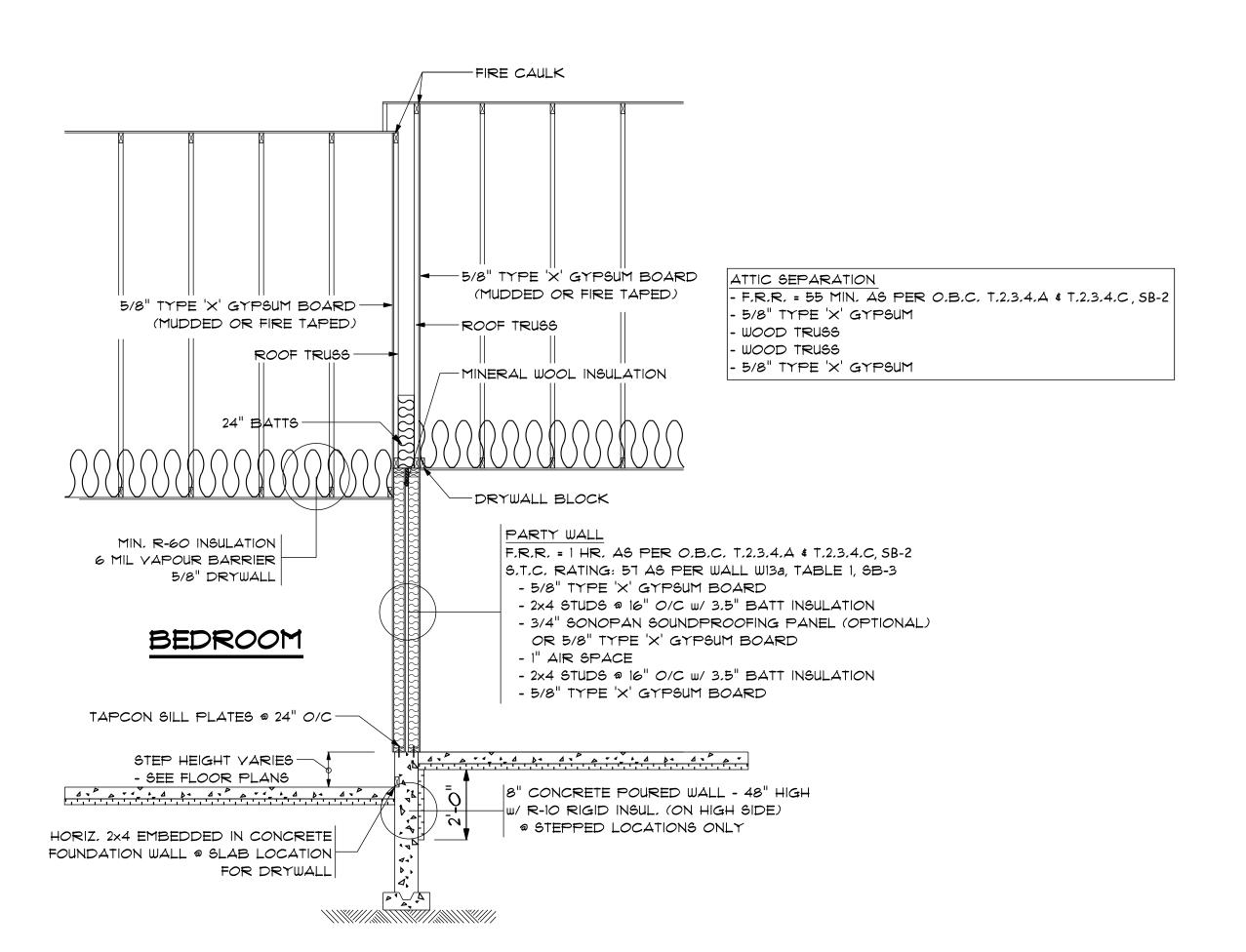
R. BRANDON AUGUST 14, 2020 SCALE:

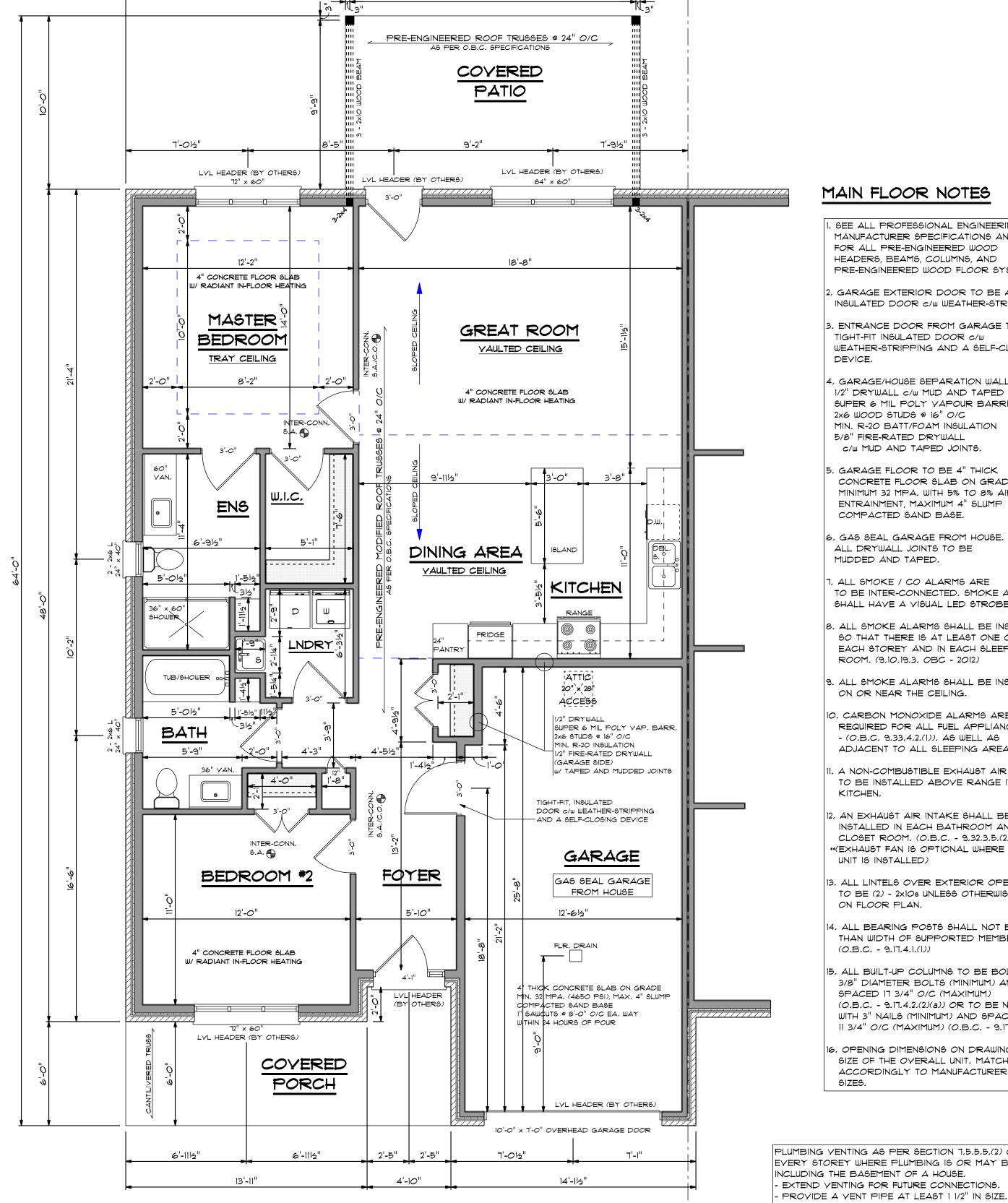
REVERSED SET 1/8" = 1'-0"



### WALL DETAIL A PARTY

SCALE: 3/8" = 1'-0"





17'-O"

16'-6"

12'-8"

### MAIN FLOOR NOTES

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- . GARAGE/HOUSE SEPARATION WALL: 1/2" DRYWALL c/w MUD AND TAPED JOINTS SUPER 6 MIL POLY VAPOUR BARRIER 2x6 WOOD STUDS @ 16" 0/C MIN, R-20 BATT/FOAM INSULATION 5/8" FIRE-RATED DRYWALL c/w MUD AND TAPED JOINTS.
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- . ALL SMOKE ALARMS SHALL BE INSTALLED SO THAT THERE IS AT LEAST ONE ON EACH STOREY AND IN EACH SLEEPING ROOM. (9.10.19.3, OBC - 2012)
- ALL SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING,
- O, CARBON MONOXIDE ALARMS ARE REQUIRED FOR ALL FUEL APPLIANCES - (O.B.C. 9.33.4.2.(1)). AS WELL AS ADJACENT TO ALL SLEEPING AREAS.
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- 3, ALL LINTELS OVER EXTERIOR OPENINGS TO BE (2) - 2×100 UNLESS OTHERWISE NOTED ON FLOOR PLAN.
- 4. ALL BEARING POSTS SHALL NOT BE LESS THAN WIDTH OF SUPPORTED MEMBER. (O.B.C. - 9.17.4.1.(1))
- 15, ALL BUILT-UP COLUMNS TO BE BOLTED WITH 3/8" DIAMETER BOLTS (MINIMUM) AND SPACED 17 3/4" O/C (MAXIMUM) (O.B.C. - 9.17.4.2.(2)(a)) OR TO BE NAILED WITH 3" NAILS (MINIMUM) AND SPACED 11 3/4" O/C (MAXIMUM) (O.B.C. - 9.17.4.2.(2)(b))
- 5. OPENING DIMENSIONS ON DRAWING ARE THE SIZE OF THE OVERALL UNIT, MATCH ACCORDINGLY TO MANUFACTURER'S WINDOW SIZES,

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# UNIT MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

1287.2 sq ft.

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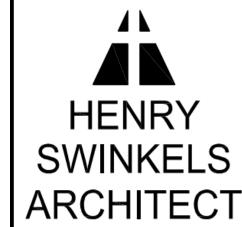
MANUFACTURING. SEE SUPPLIER ENGINEERING DATA FOR ALL PRE-ENGINEERED WOOD HEADERS.

BEAMS, COLUMNS, PRE-ENGINEERED FLOOR

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TRUSSES AND ROOF TRUSSES.

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519-333-3353 ryan@brandonhomedesigns.cor www.brandonhomedesigns.com

PROJECT NO:

CN113-6-R

PROJECT :

1,287 S.F./UNIT CONDOS

# **GOLD LEAF PROPERTIES**

**CEDAR VIEW ESTATES** PARKHILL, ON

DRAWING TITLE:

UNIT FLOOR PLAN

PARTY WALL DETAIL

REVERSED SE R. BRANDON

CALE:

AUG. 14, 2020 AS SHOWN

PARTY WALL DETAIL B

SCALE: 3/8" = 1'-0"

#### THESE DRAWINGS ARE PROTECTED BY COPYRIGHT LAWS AND CANNOT BE MODIFIED AND/OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF BRANDON HOME DESIGNS INC. IF THERE IS NO RED SIGNATURE ON THE PLAN, PLEASE NOTIFY THE DESIGNER. BRANDON HOME DESIGNS INC. IS NOT ORBINDICATED ON THE DRAWINGS THEREAFTER. FLASHING AT INTERFACE METAL PANEL ROOF BETWEEN ROOFS WHERE THEY PROVIDE 2 LAYERS #15 (INSTALLED BY OTHERS) ABUT WALLS, O.B.C. 9.26.4 ASPHALT BLDG, PAPER, PROVIDE STRAPPING AS REQUIRED LAPPED & CEMENT EAVE GAF BREATHABLE WATERPROOF MEMBRANE PROTECTION MIN. 36" UP PROVIDE ROOF VENTS OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. 7/16" O.S.B. SHEATHING FLASHING AT SLOPE OF ROOF, BUT NOT ALL YENTING TO BE ADEQUATELY SCREENED AND CORROSION RESISTANT. c/w PLY-CLIPS ROOF VALLEYS LESS THAN 12" FROM INNER PRE-ENG'D ROOF TRUSSES @ 24" O/C FACE OF EXTERIOR WALL. ICE & WATER SHIELD EAVE PROTECTION (INSTALL OVER EAVE STARTER) 7/12 PITCH 6/12 PITCH ALL ROOF OVERHANGS ARE PRE-PAINTED ALUMINUM TO BE TO THE FINISH MATERIAL 189 John Street SOFFIT FASCIA - 12" ON GABLE ENDS DRIPEDGE VALLEY'S - 18" ON HIP ENDS BAFFLE (EVERY TROUGH & DOWNSPOUTS UNLESS OTHERWISE NOTED. OTHER TRUSS SPAN) 2x6 FASCIA BOARD ALL AROUND -MIN, R-60 INSULATION (SLOPED CEILING) BEAM BEYOND -TYP, INTERIOR WALL MIN, R-60 INSULATION (FLAT CEILING) U/S OF SOFFIT 1/2" DRYWALL 2x4 STUDS @ 16" O/C 1/2" DRYWALL 6 MIL VAPOUR BARRIER (LAPPED & SEALED) R-40 INSULATION SUPER 6 MIL POLY VAP, BARR, 1/2" DRYWALL 1/2" DRYWALL SUPER 6 MIL VAP, BARR, BRICK YENEER c/w TIES BRICK YENEER c/w TIES -2x6 FASCIA BOARD 2x6 STUDS @ 16" 0/C (LAPPED & SEALED) 1" AIR SPACE 1" AIR SPACE ALL AROUND MIN, R-20 BATT INSULATION 1/2" DRYWALL TYVEK HOUSE WRAP TYVEK HOUSE WRAP 1/2" FIRE-RATED DRYWALL C/W TAPED JOINTS c/w TAPED JOINTS GAS SEAL GARAGE GARAGE GREAT ROOM (GARAGE SIDE) 1,5" (R-7,5) INSUL, BOARD (R-7,5) INSUL, BOARD FROM HOUSE w/ TAPED AND MUDDED JOINTS WIND BRACING KITCHEN WIND BRACING -6×6 P.T. WOOD POST 2x6 STUDS @ 16" 0/C 2x4 STUDS @ 16" 0/C R-10 SPRAYFOAM INSULATION MIN, R-14 BATT INSULATION 4" THICK CONCRETE SLAB ON GRADE \_\_\_\_\_2x4 WOOD PLATE WITH SILL GASKET 4" CONCRETE FLOOR I 2x6 WOOD PLATE WITH SILL GASKET R-14 BATT INSULATION 6 MIL VAP, BARR, MIN. 32 MPA. (4650 PSI), MAX. 4" SLUMP SECURED TO CONCRETE W/ 1/2" DIAM. IN-FLOOR RADIANT HEAT SECURED TO CONCRETE W/ 1/2" DIAM. 6 MIL VAP, BARR, 1/2" DRYWALL HOT ROCKS PANEL COMPACTED SAND BASE ANCHOR BOLTS @ 7'-10" O/C (MAX.) ANCHOR BOLTS @ 7'-10" O/C (MAX.) 1/2" DRYWALL MIN. R-10 RIGID INSULATION I" SAWCUTS @ 8'-O" O/C EA, WAY SET 4" MIN, INTO CONCRETE (MIN.) SET 4" MIN, INTO CONCRETE (MIN,) TOP OF FNDN, WALL COMPACTED GRANULAR WITHIN 24 HOURS OF POUR (O.B.C. - 9.23.6.1.(2) AND (3)) (O.B.C. - 9.23.6.1.(2) AND (3)) AND TOP OF FLOOR SLAB FINISH GRADE APPROVED PVC WATER APPROVED PVC WATER BARRIER BARRIER 9" CONC, FNDN WALL 9" CONC, FNDN WALL MIN, R-10 RIGID INSULATION MIN, R-10 RIGID INSULATION U/S OF FOOTING www.brandonhomedesigns.com -CONTINUOUS 6" x 18" PROJECT NO: -8"x8" CONC, PIER CONCRETE FOOTING ON 24"x24"x12" TH. CONTINUOUS 6" x 18" ALL FOOTINGS TO BEAR ON UNDISTURBED CONC. PAD C/W 2-15M CONCRETE FOOTING -SOILS OF 15kPa OR GREATER. YERTICAL REBAR C/W 4" HOOK INTO CONC. (O.B.C. - 9.15.1.1.) CROSS SECTION PAD (TYP.) SCALE: 3/8" = 1'-0"

### **GENERAL NOTES**

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**HENRY SWINKELS** ARCHITECT

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> > NO ASSOCIAL O ARCHITECTS HENRY J. SWINKELS LICENCE 4456



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CN113-6-R

PROJECT :

1,287 S.F./UNIT CONDOS

# GOLD LEAF **PROPERTIES**

**CEDAR VIEW ESTATES** 

PARKHILL, ON

DRAWING TITLE:

CROSS SECTION

R. BRANDON AUG. 14, 2020

3/8" = 1'-0"