

**GENERAL NOTES**

ALL WORK PERFORMED AND MATERIAL SUPPLIED SHALL COMPLY TO THE LATEST EDITION OF THE 2012 ONTARIO BUILDING CODE.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE DRAWINGS AND REPORT ANY DISCREPANCIES TO BRANDON HOME DESIGNS INC. PRIOR TO PROCEEDING WITH WORK.

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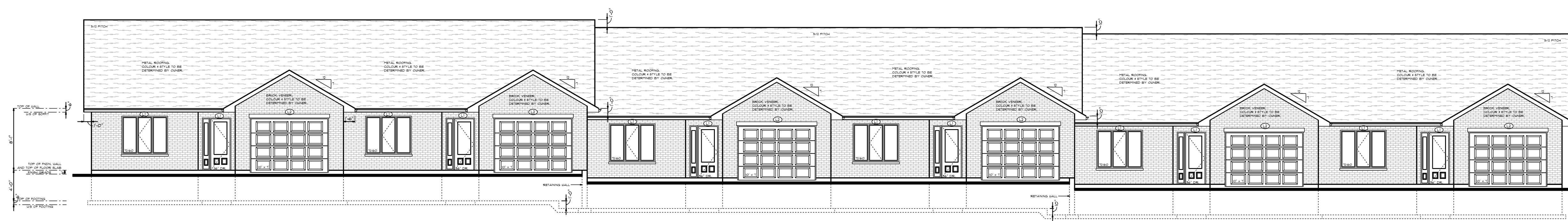
BRANDON HOME DESIGNS INC. IS NOT RESPONSIBLE FOR ANY ENGINEERING REQUIRED BY THE MUNICIPALITY THAT IS NOT IN THE 2012 O.B.C.

PROVIDE ROOF TRUSS DRAWINGS AND/OR PRE-ENGINEERED FLOOR TRUSS DRAWINGS TO BRANDON HOME DESIGNS INC. FOR VERIFICATION PRIOR TO MANUFACTURING.

SEE SUPPLIER ENGINEERING DATA FOR ALL PRE-ENGINEERED WOOD HEADERS, BEAMS, COLUMNS, PRE-ENGINEERED FLOOR TRUSSES AND ROOF TRUSSES.

CONSULT BRANDON HOME DESIGNS INC. IF A GIRDER TRUSS OR ANY OTHER UNEXPECTED POINT LOADS ARE NOT LOCATED OR INDICATED ON THE DRAWINGS.

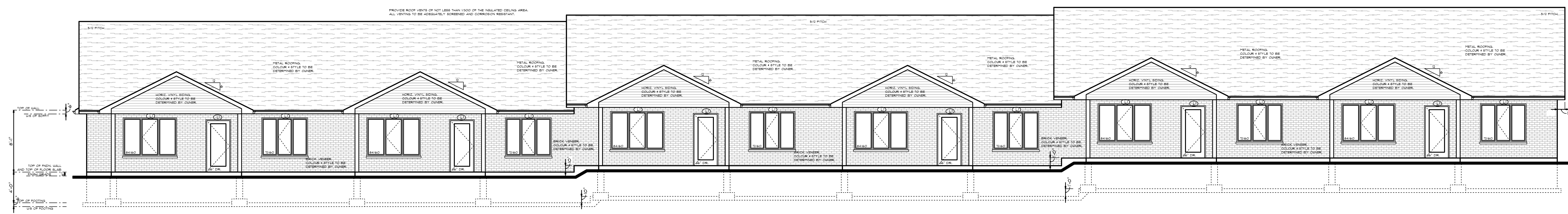
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**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

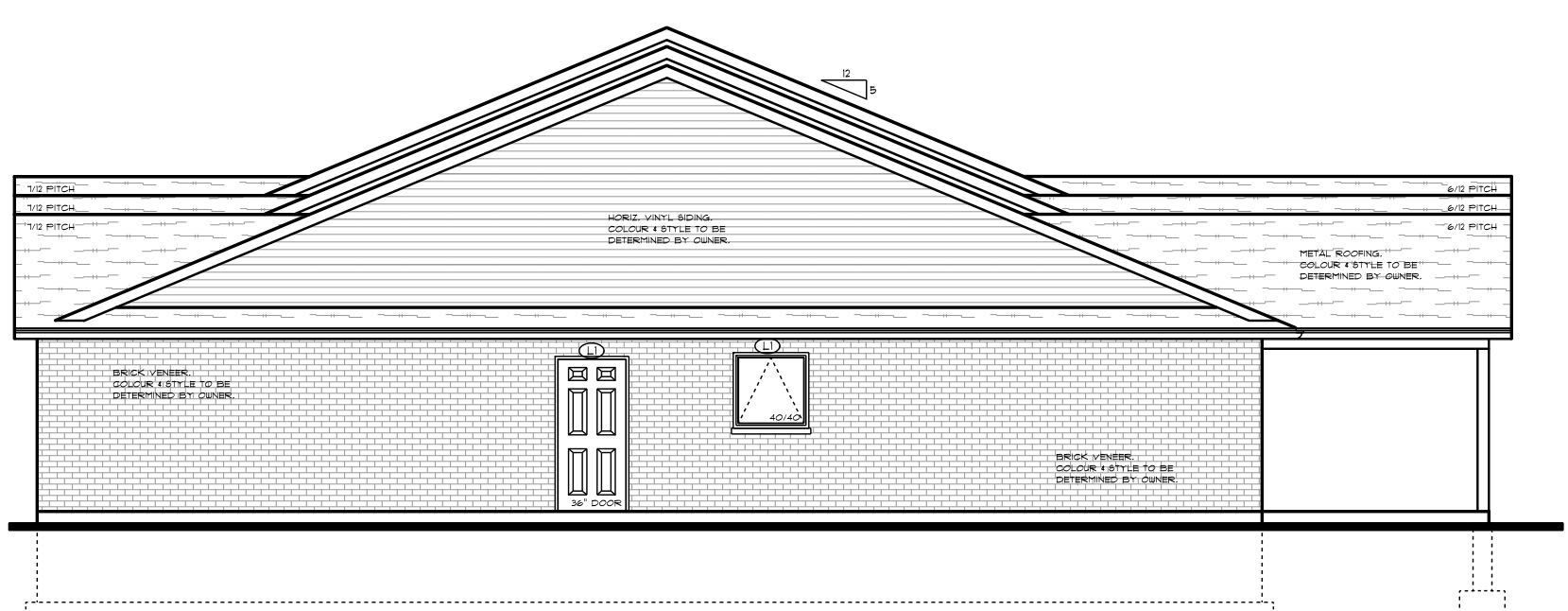
ALL ROOF OVERHANGS ARE TO BE TO THE FINISH MATERIAL - 12" ON GABLE ENDS - 18" ON HIP ENDS UNLESS OTHERWISE NOTED.



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

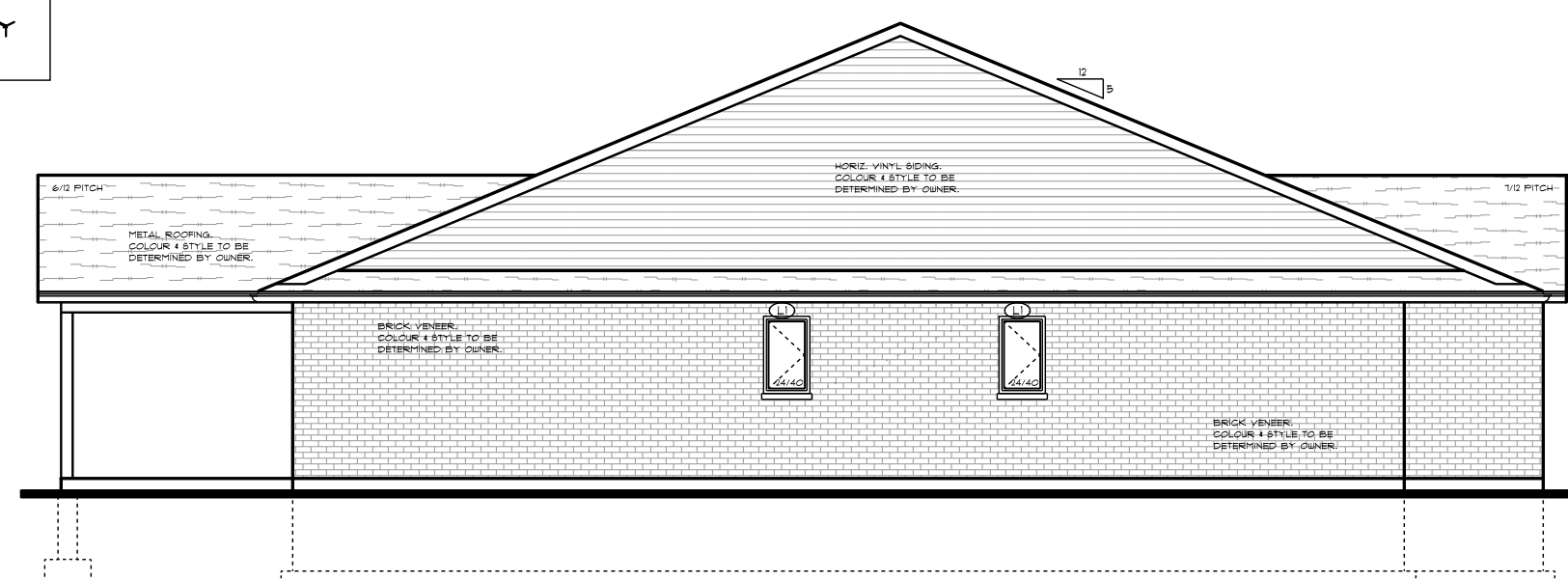
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**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

GRADING INDICATED ON ELEVATIONS ARE FOR ILLUSTRATION ONLY. ACTUAL GRADES MAY VARY.



**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

ALL ROOF OVERHANGS ARE TO BE TO THE FINISH MATERIAL - 12" ON GABLE ENDS - 18" ON HIP ENDS UNLESS OTHERWISE NOTED.

**ELEVATION NOTES**

1. FLASHING AT INTERFACE BETWEEN ROOFS WHERE THEY ABUT WALLS AS PER O.B.C. 9.26.4.
2. SLOPE GRADE AWAY FROM HOUSE. MINIMUM 6" DROP FOR EVERY 6'-0" DISTANCE AWAY FROM HOUSE.
3. PROVIDE A 1% SLOPE AWAY FROM HOUSE FOR EVERY DECKING SURFACE.
4. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND FINISHED GRADES ON SITE.
5. CONFIRM LOCATION AND DEPTH OF FOUNDATION WALL STEP DOWNS ON SITE.

**EXPOSING BUILDING FACE:**  
 L.D. = 4.0m  
 E.B.F. = 40.6m<sup>2</sup>  
 H/L OR L/H = 6.7  
 PERMITTED OPENINGS = 32%  
 ACTUAL OPENINGS = 1.2%  
 COMBUSTIBLE CONSTRUCTION PERMITTED.  
 NON-COMBUSTIBLE CLADDING REQUIRED  
 E.B.F. TO BE CONSTRUCTED WITH 45 MIN. F.R.R.



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PROJECT NO:  
 CNI13-6-R

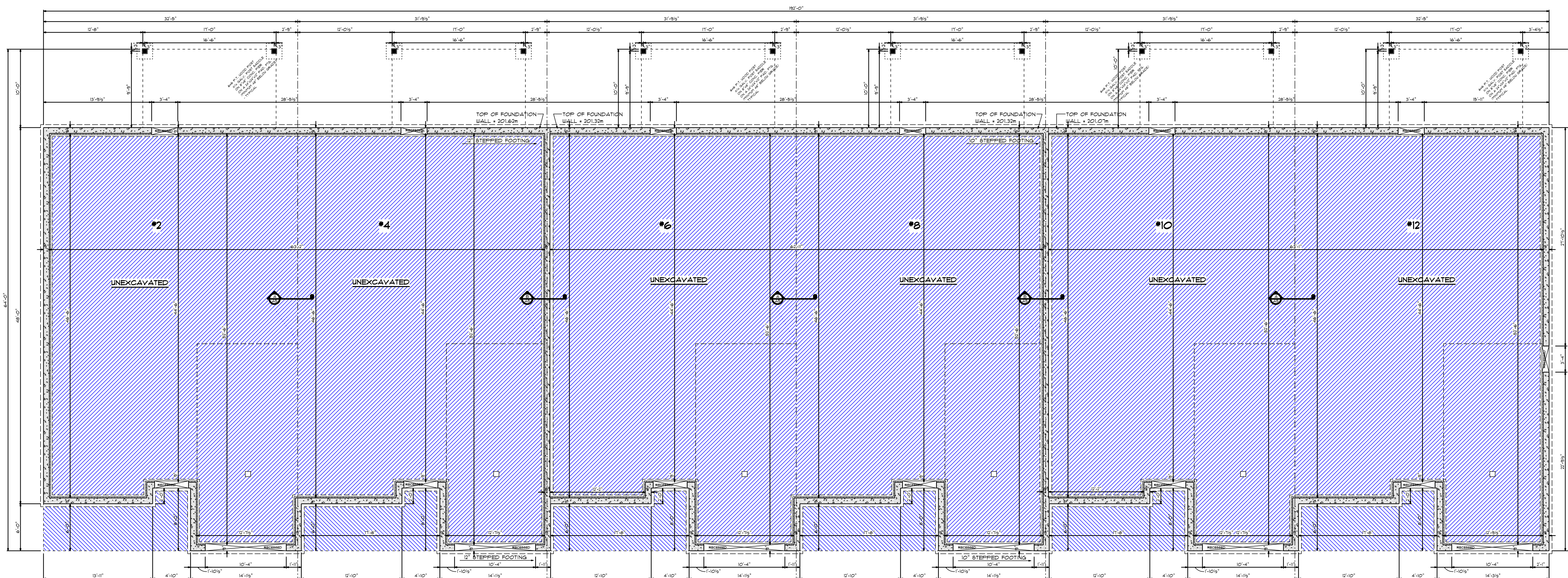
PROJECT:  
 1287 S.F.  
 BUNGALOW

GOLD LEAF PROPERTIES  
 CEDAR VIEW ESTATES  
 PARKHILL, ON

DRAWING TITLE:  
 4 ELEVATIONS

DRAWN BY:  
 R. BRANDON  
 DATE:  
 Aug. 14, 2020  
 SCALE:  
 1/8" = 1'-0"

REVERSED SET  
**A1**  
 REV. 09/25/20



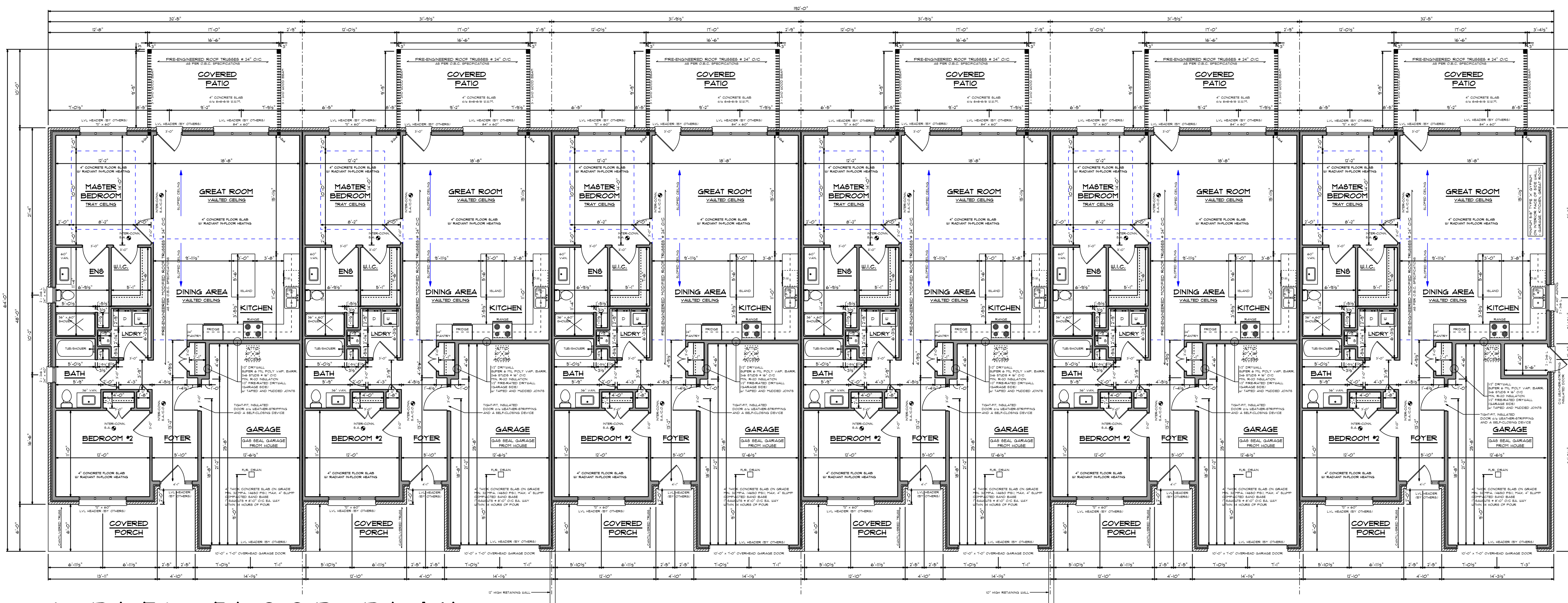
**CONCRETE**  
 COMPRESSIVE STRENGTH OF UNREINFORCED CONC. @ 28 DAYS  
 - 20 MPA FOR FOOTINGS AND WALLS  
 - 20 MPA FOR BASEMENT FLOOR SLAB  
 - 32 MPA FOR GARAGE FLOOR SLAB, EXTERIOR SLABS  
 - 15 MPA FOR ALL OTHER APPLICATIONS  
 (O.B.C. - 2012 - SECTION 9.3.1.6.)  
 WATER TO CEMENT RATIO:  
 - 0.45 FOR GARAGE FLOOR SLABS AND EXTERIOR SLABS  
 - 0.65 FOR INTERIOR FLOOR SLABS  
 - 0.70 FOR ALL OTHER APPLICATIONS  
 (O.B.C. - 2012 - SECTION 9.3.1.7.)  
 AIR ENTRAINMENT 8% TO 8%  
 ALL FOOTINGS TO BE ON UNDISTURBED SOIL  
 AND MINIMUM 4'-0" BELOW LINE OF FINISH GRADE.

PLUMBING VENTING AS PER SECTION 7.5.5.5.(2) OF OBC 2012.  
 EVERY STOREY WHERE PLUMBING IS OR MAY BE INSTALLED,  
 INCLUDING THE BASEMENT OF A HOUSE.  
 - EXTEND VENTING FOR FUTURE CONNECTIONS.  
 - PROVIDE A VENT PIPE AT LEAST 1 1/2" IN SIZE.

**MAIN FLOOR NOTES**

- SEE ALL PROFESSIONAL ENGINEERING, MANUFACTURER SPECIFICATIONS AND DATA FOR ALL PRE-ENGINEERED WOOD HEADERS, BEAMS, COLUMNS, AND PRE-ENGINEERED WOOD FLOOR SYSTEMS.
- GARAGE EXTERIOR DOOR TO BE AN INSULATED DOOR c/w WEATHER-STRIPPING.
- ENTRANCE DOOR FROM GARAGE TO BE A TIGHT-FIT INSULATED DOOR c/w WEATHER-STRIPPING AND A SELF-CLOSING DEVICE.
- GARAGE/HOUSE SEPARATION WALL: 1/2" DRYWALL c/w MUD AND TAPED JOINTS SUPER 6 MIL POLY VAPOUR BARRIER 2x6 WOOD STUDS @ 16" O/C MIN. R-20 BATT/FOAM INSULATION 5/8" FIRE-RATED DRYWALL c/w MUD AND TAPED JOINTS.
- GARAGE FLOOR TO BE 4" THICK CONCRETE FLOOR SLAB ON GRADE. MINIMUM 32 MPA. WITH 8% AIR ENTRAINMENT, MAXIMUM 4" SLUMP COMPACTED SAND BASE.
- GAS SEAL GARAGE FROM HOUSE. ALL DRYWALL JOINTS TO BE MUDDERED AND TAPED.
- ALL SMOKE / CO ALARMS ARE TO BE INTER-CONNECTED. SMOKE ALARMS SHALL HAVE A VISUAL LED STROBE LIGHT.
- ALL SMOKE ALARMS SHALL BE INSTALLED SO THAT THERE IS AT LEAST ONE ON EACH STOREY AND IN EACH SLEEPING ROOM. (9.10.19.3. OBC - 2012)
- ALL SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING.
- CARBON MONOXIDE ALARMS ARE REQUIRED FOR ALL FUEL APPLIANCES - (O.B.C. 9.33.4.2.(1)). AS WELL AS ADJACENT TO ALL SLEEPING AREAS.
- A NON-COMBUSTIBLE EXHAUST AIR INTAKE TO BE INSTALLED ABOVE RANGE IN KITCHEN.
- AN EXHAUST AIR INTAKE SHALL BE INSTALLED IN EACH BATHROOM AND WATER CLOSET ROOM. (O.B.C. - 9.32.3.5.(2)) \*EXHAUST FAN IS OPTIONAL WHERE AN HRV UNIT IS INSTALLED.
- ALL LINTELS OVER EXTERIOR OPENINGS TO BE (2) - 2x10s UNLESS OTHERWISE NOTED ON FLOOR PLAN.
- ALL BEARING POSTS SHALL NOT BE LESS THAN WIDTH OF SUPPORTED MEMBER. (O.B.C. - 9.11.4.(1))
- ALL BUILT-UP COLUMNS TO BE BOLTED WITH 3/8" DIAMETER BOLTS (MINIMUM) AND SPACED AT 3'4" O/C (MAXIMUM) (O.B.C. - 9.11.4.2.(2)(a)) OR TO BE NAILED WITH 3" NAILS (MINIMUM) AND SPACED AT 11 3/4" O/C (MAXIMUM) (O.B.C. - 9.11.4.2.(2)(b))
- OPENING DIMENSIONS ON DRAWING ARE THE SIZE OF THE OVERALL UNIT. MATCH ACCORDINGLY TO MANUFACTURER'S WINDOW SIZES.

**6-PLEX FOUNDATION PLAN**  
 SCALE: 1/8" = 1'-0"



**6-PLEX FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

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PROJECT NO:  
 CN113-6-R

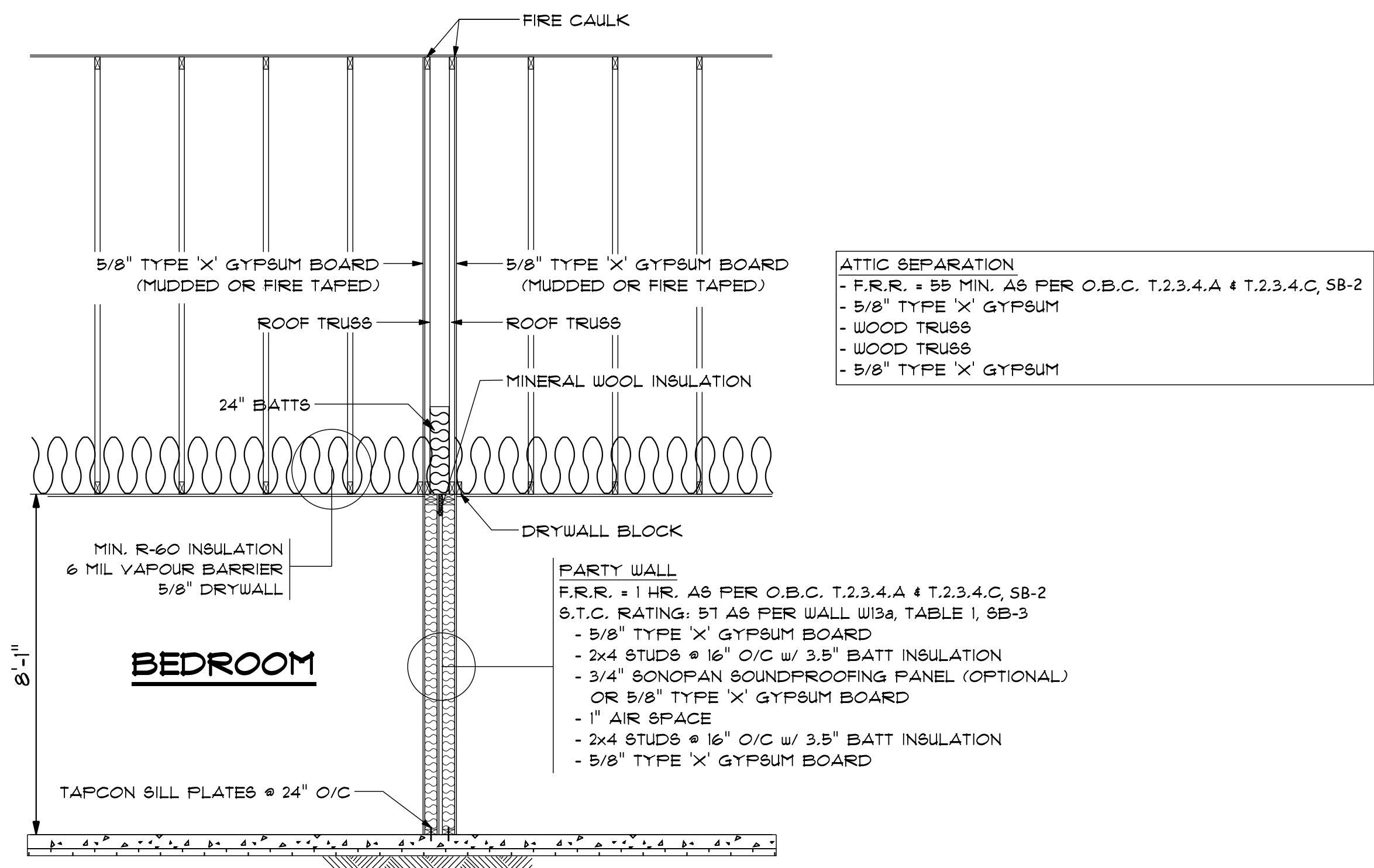
PROJECT:  
 1,281 S.F./UNIT  
 CONDOS

**GOLD LEAF PROPERTIES**  
 CEDAR VIEW ESTATES  
 PARKHILL, ON

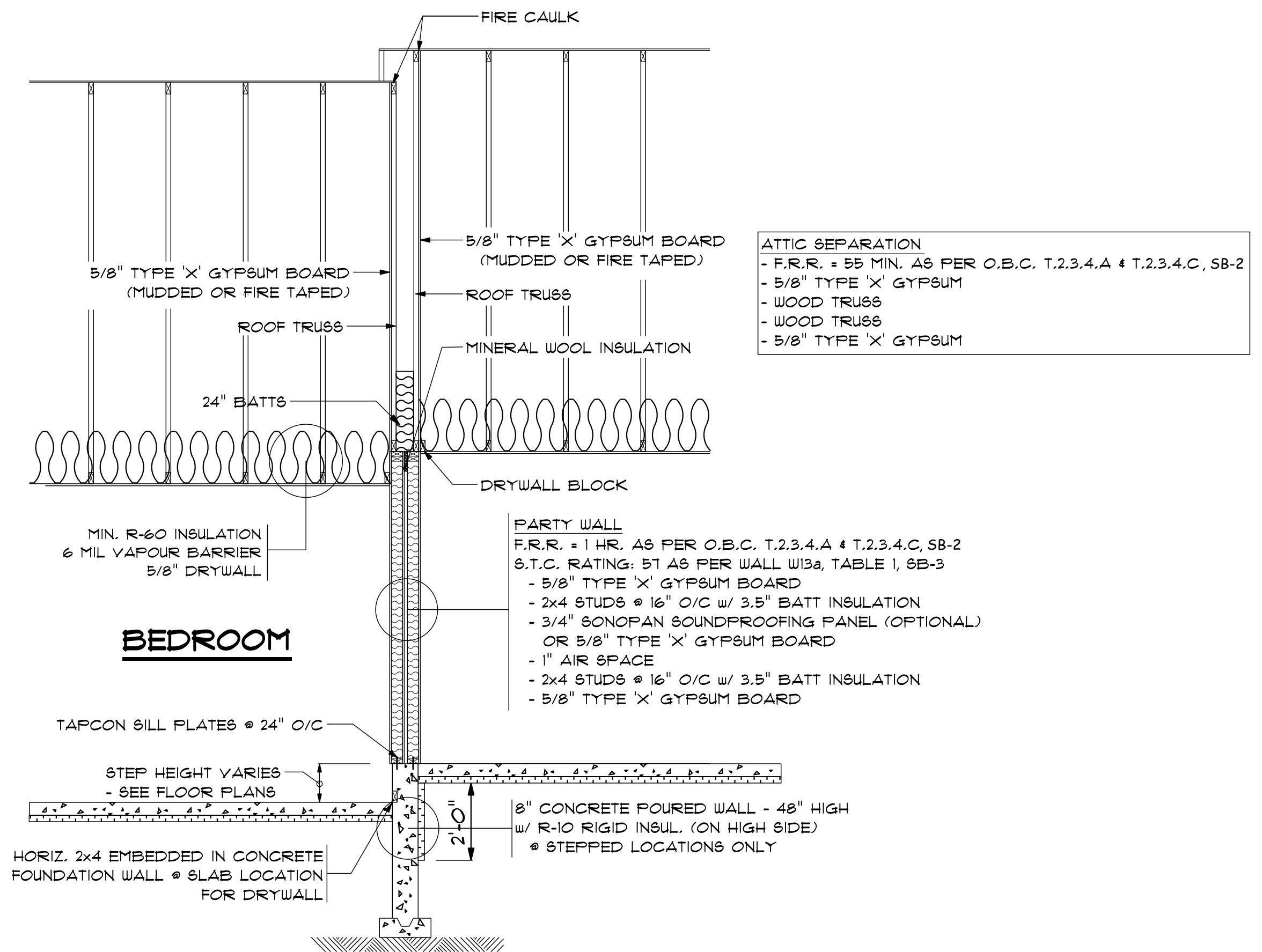
DRAWING TITLE:  
 FOUNDATION PLAN  
 MAIN FLOOR PLAN

DRAWN BY:  
 R. BRANDON  
 DATE:  
 AUGUST 14, 2020  
 SCALE:  
 1/8" = 1'-0"

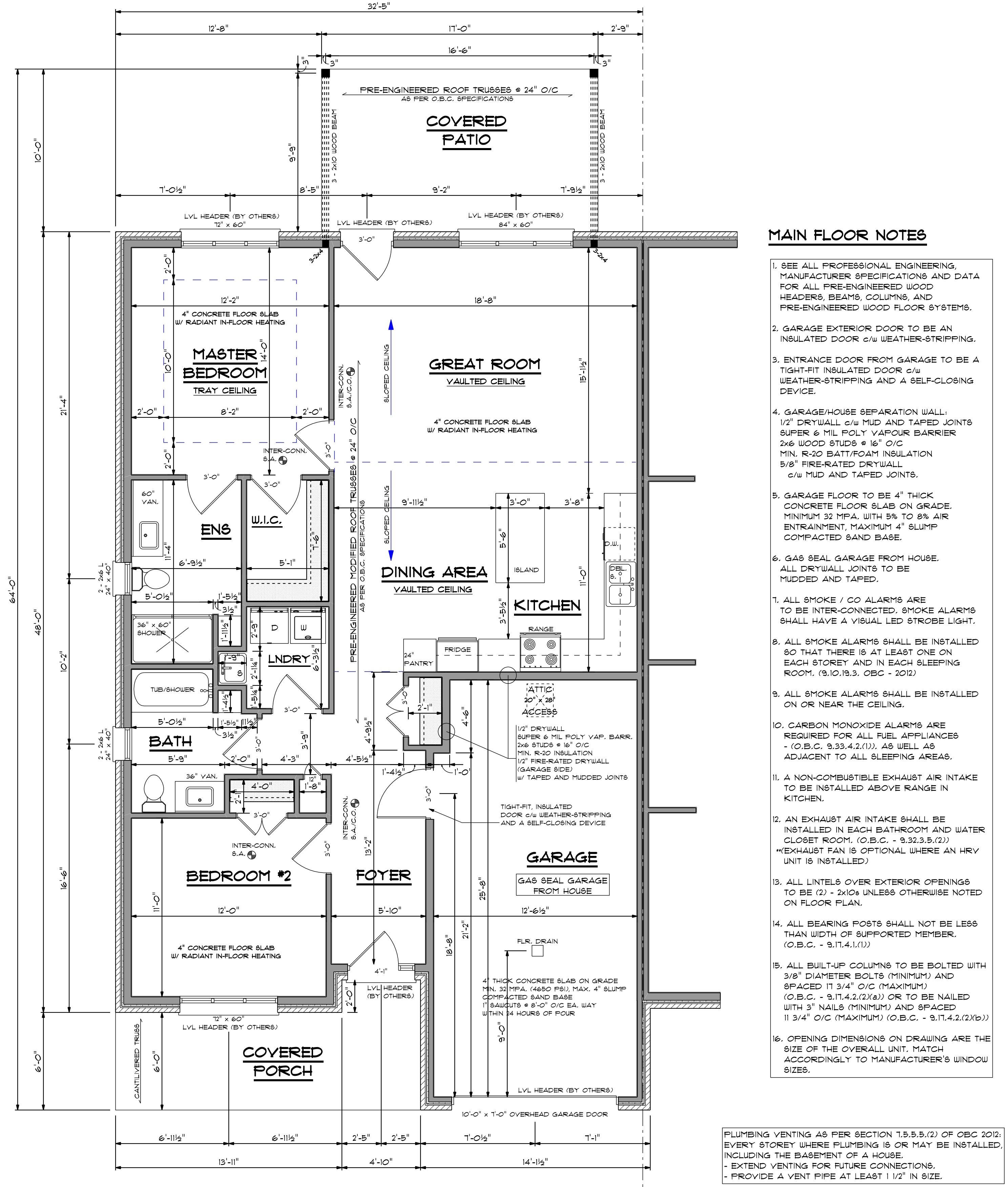
REVERSED SET  
**A2**  
 REV. 03 - 09/25/20



**PARTY WALL DETAIL A**  
SCALE: 3/8" = 1'-0"



**PARTY WALL DETAIL B**  
SCALE: 3/8" = 1'-0"



**UNIT MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0" 1287.2 sq. ft.

**MAIN FLOOR NOTES**

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- GARAGE/HOUSE SEPARATION WALL: 1/2" DRYWALL c/w MUD AND TAPED JOINTS SUPER & MIL POLY VAPOUR BARRIER 2x6 WOOD STUDS @ 16" O/C MIN. R-20 BATT/FOAM INSULATION 5/8" FIRE-RATED DRYWALL c/w MUD AND TAPED JOINTS.
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PROJECT NO:  
CN113-6-R

PROJECT:  
1287 S.F./UNIT CONDOS

GOLD LEAF PROPERTIES  
CEDAR VIEW ESTATES  
PARKHILL, ON

DRAWING TITLE:  
UNIT FLOOR PLAN  
PARTY WALL DETAIL

DRAWN BY:  
R. BRANDON  
DATE:  
AUG. 14, 2020  
SCALE:  
AS SHOWN  
REVERSED SET  
A3  
REV. 03 - 09/2020

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PROJECT NO:

CN113-6-R

PROJECT :

1,287 S.F./UNIT CONDOS

GOLD LEAF PROPERTIES  
CEDAR VIEW ESTATES  
PARKHILL, ON

DRAWING TITLE:

CROSS SECTION

DRAWN BY:  
R. BRANDON  
DATE:  
AUG. 14, 2020  
SCALE:  
3/8" = 1'-0"

A5

PROVIDE ROOF VENTS OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. ALL VENTING TO BE ADEQUATELY SCREENED AND CORROSION RESISTANT.

METAL PANEL ROOF (INSTALLED BY OTHERS)  
- PROVIDE STRAPPING AS REQUIRED  
GAF BREATHABLE WATERPROOF MEMBRANE  
1/16" O.S.B. SHEATHING  
c/w FLY-CLIPS  
PRE-ENG'D ROOF TRUSSES @ 24" O/C

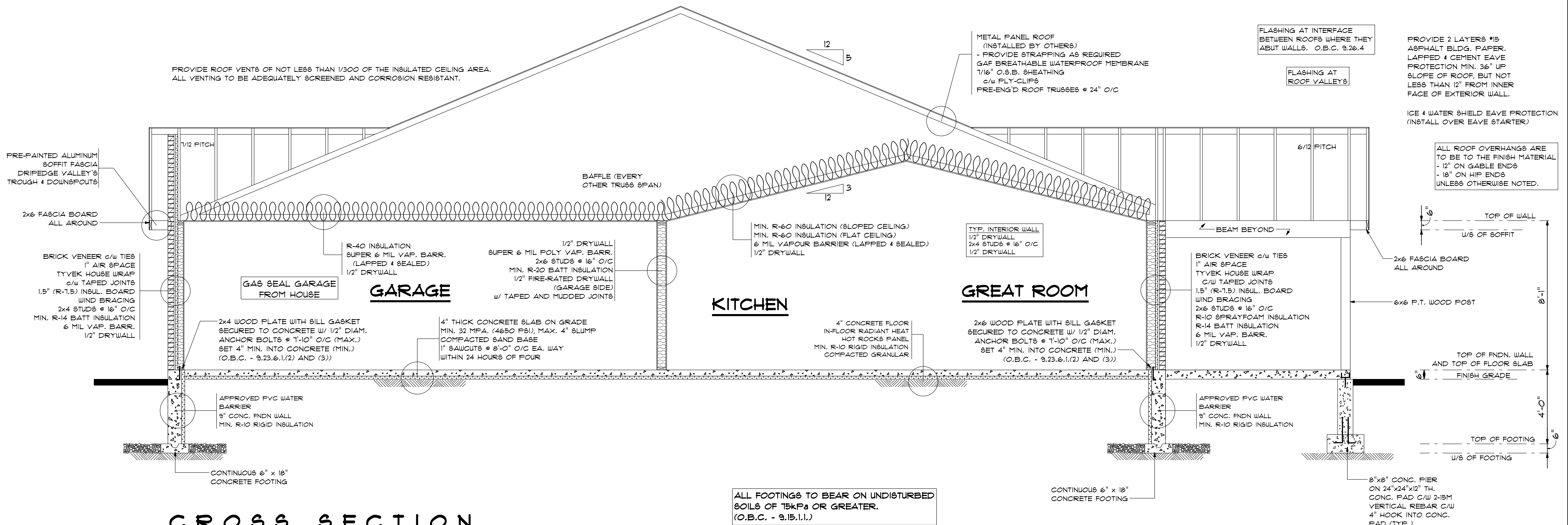
FLASHING AT INTERFACE BETWEEN ROOFS WHERE THEY ABUT WALLS. O.B.C. 9.26.4

FLASHING AT ROOF VALLEYS

PROVIDE 2 LAYERS #15 ASPHALT BLDG. PAPER, LAPPED 4 CEMENT EAVE PROTECTION MIN. 36" UP SLOPE OF ROOF, BUT NOT LESS THAN 12" FROM INNER FACE OF EXTERIOR WALL.

ICE & WATER SHIELD EAVE PROTECTION (INSTALL OVER EAVE STARTER)

ALL ROOF OVERHANGS ARE TO BE TO THE FINISH MATERIAL  
- 12" ON GABLE ENDS  
- 18" ON HIP ENDS  
UNLESS OTHERWISE NOTED.



CROSS SECTION

SCALE: 3/8" = 1'-0"

ALL FOOTINGS TO BEAR ON UNDISTURBED SOILS OF 15kPa OR GREATER. (O.B.C. - 9.15.1.1.)