



GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE ONTARIO BUILDING CODE 2012 REGULATIONS AND ALL REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.

2. CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.

3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMMITMENT TO PERSONAL EQUIPMENT & MATERIALS SAFETY. AS A MINIMUM ALL OPERATING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL HEALTH & SAFETY ACT & REGULATIONS FOR CONSTRUCTION PROJECTS, FOR ONTARIO, AS WELL AS THE CONSTRUCTION HEALTH & SAFETY MANUAL BY THE CONSTRUCTION SAFETY ASSOCIATION OF ONTARIO.

4. DO NOT SCALE DRAWINGS.

5. PRODUCTS, EQUIPMENT & MATERIALS INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE, & OF THE BEST QUALITY (AS PER SPECIFICATIONS) FOR THE PURPOSE INTENDED.

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11	ISSUE FOR REVIEW	12/09/24
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NO.	REVISION/ISSUE	DATE

DRAWING TITLE

SITE PLAN

DRAWING T

7571 Cornell Trail Port Franks, ON NOM 2L0

SCALE
1/8" = 1'-0"

1598-01-27-24
DRAWING NO.

SEP 27, 2023

DRAWN BY
M.O.

WOOD FRAMING

- 1) ALL LUMBER AND WOOD PRODUCTS SHALL CONFORM TO OBC 9,3,2 AND ALL WOOD FRAME CONSTRUCTION SHALL CONFORM TO OBC 9,23,
- 2) ENSURE ALL EXTERIOR AND LOAD BEARING WALLS ARE BRACED AS PER OBC 9.23.10.2, TO PROVIDE LATERAL SUPPORT FOR THE BUILDING.
- 3) ALL PRE-ENGINEERED SYSTEMS (I.E. ROOF TRUSSES, FLOOR JOISTS, ETC.) ARE TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER OF ONTARIO, PROVIDE LAYOUTS AND SEALED DESIGN SHEETS TO JDS AND THE LOCAL BUILDING DIVISION.
- 4) ALL WOOD BEAMS/GIRDER TRUSS TO BE SUPPORTED AT ENDS BY A WOOD COLUMN OF EQUAL WIDTH, CONFORMING TO OBC 9.17., OR STEEL COLUMN, AND PROVIDING A CONTINUOUS POINT LOAD DOWN TO FOUNDATION. INTERMEDIATE JOIST SPACES TO BE BLOCKED SOLID AS REQUIRED.
- 5) NAILING FOR COLUMNS BUILT UP OF 2" NOM, FULL LENGTH SAWN LUMBER (PER OBC 9,17,4,2,),
- * 2"x4" | ROW OF 3" NAILS @ 9" CENTERS IN EACH PLY * 2"x6" 2 ROWS OF 3" NAILS @ 9" CENTERS IN EACH PLY
- 6) ALL LINTELS TO BE SUPPORTED BY A MINIMUM OF I (ONE) JACK STUD AND I (ONE KING STUD AT ENDS
- 7) PROVIDE DOUBLE JOIST FRAMING AROUND ALL FLOOR OPENINGS FOR STAIRS AS PER OBC 9.23,9,5-6
- 8) ALL NON-LOAD BEARING PARTITIONS PARALLEL TO FLOOR JOISTS TO BE SUPPORTED BY EITHER A DOUBLE FLOOR JOIST OR BLOCKING AT 3'-11" o.c. TO COMPLY WITH 9.23.9.8. OF THE OBC
- 9) WOOD SUPPORTED ON CONCRETE SHALL BE SEPARATED FROM THE CONC. BY 2 mil POLY OR SILL GASKET
- 10) IF A FLUSH BEAM IN THE CEILING INTERRUPTS THE ROOF TIE AS REQ'D BY 9.23.13.8(4) OF THE ONTARIO BUILDING CODE, RESTORE THIS TIE BY BRIDGING THE FLUSH BEAM WITH A MINIMUM 18"x1 ¼" x20 GA, TIE STRAP FASTENED TO THE BOTTOM FACES OF THE OPPOSING CEILING JOISTS, THE STRAP IS TO BE FASTENED TO EACH CEILING JOIST WITH 5-3" NAILS,
- 11) ALL ROOF AND CEILING FRAMING SHALL CONFORM TO OBC 9.23.13.
 12) ALL FLOOR, ROOF AND CEILING FRAMING SHALL CONFORM TO THE SPANS
- SHOWN IN OBC PART 9 TABLES A-1 TO A-7.
- 13) WHERE REQUIRED, PROVIDE INTERMEDIATE SUPPORT FOR ROOF RAFTERS/JOISTS AS PER OBC 9.23.13.7.
- 14) WHERE THE RIDGE IS UNSUPPORTED, ROOF RAFTERS/JOISTS ARE TO BE TIED TO THE CEILING JOISTS (OR SOLID BLOCKING AT 3'-11" o.c. MAX.) AT THEIR BASE AND NAILED AS PER OBC TABLE 9.23.13.8 TO PREVENT OUTWARD MOVEMENT.
- 15) OVER FRAMED AREAS ARE TO BE SUPPORTED ON LOWER ROOF RAFTERS/JOISTS BY 2"x4" STRUTS @24" MIN, EACH WAY,
- 16) WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH OBC
- 9.23.13.11. AND NOT EXCEED A SPAN OF 40'-O" AS PER OBC 9.23.1.1.
 17) ALL GUARDS AND SUPPORTING STRUCTURE SHALL CONFORM TO OBC 9.8.8.
 AND SUPPLEMENTARY STANDARD SB-7.

STRUCTURAL STEEL

- 1) ALL STEEL COLUMNS SHALL CONFORM TO OBC 9,17, AND ALL STEEL BEAMS SHALL CONFORM TO OBC 9,23,4,3,
- 2) ALL BEAMS TO HAVE 89mm (3 ½") END BEARING AND STEEL MASONRY LINTELS TO HAVE 150mm (6") END BEARING.
- 3) ALL STRUCTURAL STEEL INCLUDING ANCHOR BOLTS, PLATES, AND ROLLED SECTIONS SHALL MEET OR EXCEED THE REQUIREMENTS FOR GRADE 350W STEEL IN CAN/CSA-G40.21.
- 4) ALL WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND CONFORM TO ALL APPLICABLE STANDARDS
- 5) PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT
 LATERAL TORSIONAL BUCKLING:
 DROPPED STEEL BEAM AS PROVDED IN OBC 9.23,4,3,(3), OR A 2"x6" TOP
 - PLATE WITH 3/8" THROUGH BOLTS C/W NUTS & WASHERS @ 24" O.C, STAGGERED EACH SIDE INTO THE TOP FLANGE WITH (2) 3 14" NAILS FROM EACH JOIST INTO THE TOP PLATE.
 - FLUSH STEEL BEAM SOLID BLOCKING (2x LUMBER AND PLYWOOD) BOLTED
 TO THE BEAM WEB WITH 1/2" DIA, THROUGH BOLTS AT 16"

 o.c. STAGGERED TOP AND BOTTOM AND APPROVED
 FACE MOUNT HANGERS FOR THE JOIST TO BLOCKING
- CONNECTION.

 6) ALL STEEL COLUMNS ARE TO BE LATERALLY SUPPORTED WITH (2)1/2"
 DIAMETER BOLTS OR 2" OF 1/4" FILLET WELD MIN. TOP 4 BOTTOM

FOOTINGS & FOUNDATION

- 1) ALL CONCRETE SHALL CONFORM TO OBC 9.3.1.
- 2) PROVIDE 18" x 6" MIN. FOOTING FOR TWO STOREY MASONRY AND SIDING/STUCCO WALL UNLESS NOTED OTHERWISE.
- 3) PROVIDE 18" x 6" FOOTINGS FOR ALL INTERIOR WALLS
- SUPPORTING UP TO TWO FLOORS UNLESS NOTED OTHERWISE.

 4) FOUNDATION WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED FOR THE LOADS PROVIDED IN 9.4.4.6.(1)(a), ENSURE PROVISIONS ARE MADE FOR
- APPROPRIATE DRAINAGE OF GROUNDWATER,

 5) ENSURE ALL FOUNDATION WALLS ARE LATERALLY SUPPORTED PRIOR TO BACKFILLING.
- 6) STEP FOOTINGS:
- MAX, RISE 600mm (24") ON FIRM SOIL MIN, RUN BETWEEN RISERS 600mm (24")
 MAX, RISE 400mm (16") ON SAND OR GRAVEL ANGLE OF REPOSE IS 45°
- 1) -GARAGE FOOR SLAB = MIN. 3", 32 MPa CONCRETE FOUNDATION WALLS = 9", 20 MPa CONCRETE BASEMENT FLOOR SLAB = MIN. 3", 25MPa CONCRETE FOOTINGS TO BEAR ON FIRM UNDISTRUBED SOIL MIN. 4'-O" BELOW GRADE
- 8) GARAGE AND PORCH SLABS TO HAVE 5%-8% AIR ENTRAINMENT, 9) EXTERIOR FOUNDATION WALLS SHALL EXTEND MIN, 6" ABOVE
- GRADE,
 10) REMOVE ALL FORM TIES FLUSH WITH WALL MIN,

DOORS & WINDOWS

- 1) ALL WINDOWS, DOORS AND SKYLIGHTS TO CONFORM TO OBC 9.7.
 2) ALL WINDOW SIZES APPROXIMATE REFER TO MANUFACTURER SIZING ROUGH OPENINGS AND SPECIFICATIONS
- 3) FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPERABLE WINDOW WITH A MIN, UNOBSTRUCTED OPEN AREA OF 3,8 SQ,FT WITH NO DIMENSION LESS
- 4) DOORS BETWEEN DWELLING UNIT & GARAGE TO BE AN EXTERIOR TYPE DOOR c/w SELF-CLOSER AND WEATHER-STRIPPING
- 5) MAIN ENTRANCE DOORS TO HAVE DOOR VIEWER UNLESS TRANSPARENT GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT

MISCELLANEOUS

- 1) SMOKE/CARBON MOXOXIDE ALARM ADJACENT TO EACH SLEEPING AREA ON OR NEAR THE CEILING UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER (PER OBC 9.33.4.)
- 2) SMOKE/CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN THE SLEEPING ROOMS AND ARE TO HAVE BATTERY BACK-UP PER OBC 9,10,19
- 3) ALL EXHAUST FANS TO BE VENTED TO EXTERIOR
- 4) UNDERCUT ALL DOORS TO ROOMS WITHOUT RETURN AIR INLETS

AIR / VAPOUR BARRIER

- 1) DOOR AND WINDOW FRAMES ARE TO BE FOAMED AND SEALED TO THE INTERIOR OR EXTERIOR AIR BARRIER, O.B.C. 9.25.3.3.(10), (11) & (12)
- 2) IF THE AIR BARRIER IS LOCATED ON EXTERIOR, SEAL GAPS BETWEEN BARRIER AND DOOR OR WINDOW FRAMES, BARRIER IS TO BE SEALED WITH APPROVED PRODUCT TOT EH TOP AND BOTTOM PLATES, NOTE: PETROLEUM BASED TAR PRODUCTS ARE NOT TO COME IN CONTACT WITH RIGID FOAM SHEATHING.
- 3) BELTS AT FOUNDATION AND FLOOR CANTILEYERS ARE TO BE WRAPPED WITH FLEXIBLE AIR BARRIER MATERIAL AND SEALED TO THE INTERIOR VAPOUR BARRIER, AND FOUNDATION WALL, O.B.C. 9.25.3.3.(6) # (8)
- 4) WALLS ABUTTING ATTIC SPACE AND AN INTERIOR SPACE ARE TO BE BLOCKED SO THE AIR BARRIER CAN BE SEALED ALONG THE BLOCKING WITH AN APPROVED SEALANT, O.B.C. 9.25,3,3,(5)
- 5) ATTIC HATCHES TO HAVE INSULATED COVERS AND WEATHER STRIPPING.
- 6) ALL PENETRATIONS THROUGHTHE WALL OR CEILING AIR BARRIER ARE TO BE SEALED. ALL BUTT JOINTS IN PANEL TYPE AIR BARRIERS ARE TO BE SEALED PER O.B.C. 9.25.3.3.(9)
- 1) POT LIGHTS AND EXHAUST FANS ARE TO BE ENCAPSULED WITH FLEXIBLE AIR BARRIER MATERIAL AND SEALED TO THE CEILING AIR BARRIER, O.B.C. 9.25.3.3.(9)
- 8) ALL LAPS IN AIR BARRIER LOCATED BEHIND TUBS, SHOWERS AND FIREPLACES TO BE SEALED AND CLAMPED, O.B.C. 9.25,3,3,(3)
- 9) ALL PENETRATIONS THROUGH BELTS (PLUMBING, HVAC ETC.) TO BE SEALED PER O.B.C. 9.25.3.3.(9)
- 10) ALL SUMP PITS TO HAVE A SEALED COVER. O.B.C. 9.25.3.3.(16)
 11) CLEANOUT COVERS TO BE AIR TIGHT PER O.B.C. 9.25.3.1.
- 12) AIR BARRIER TO BE CONTINUOUS THROUGHOUT ENTIRE BASEMENT, MAINTAIN SEPARATION FROM COLD ROOM 0.B.C. 9.25.3.1.
- 13) CAULKING IS REQUIRED AT PERIMETER OF FOUNDATION WALL/FLOOR JOINT AND PENTRATIONS. O.B.C. 9.25.3.3.(15)

LOADING

- 1) FLOORS HAVE BEEN DESIGNED NOT TO EXCEED THE SPECIFIED LIVE LOAD OF 50 lbs/sq.ft. (2.4 kPa)
- 2) ROOF LOADING PER OBC OR CALCULATED USING THE FORMULA PROVIDED IN 9.4.2.2. AND DESIGNED BASED ON LOCATION SPECIFIC CLIMATIC DATA OBTAINED FROM SUPPLEMENTARY STANDARD SB-1.
- 3) SUBJECT TO DESIGN LIMITATIONS DEFINED IN PART 9, STRUCTURAL MEMBERS AND THEIR CONNECTIONS SHALL CONFORM TO PART 4 & BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.

 4) UNLESS DETERMINED OTHERWISE, TIMBERMART ASSUMES SOIL BEARING

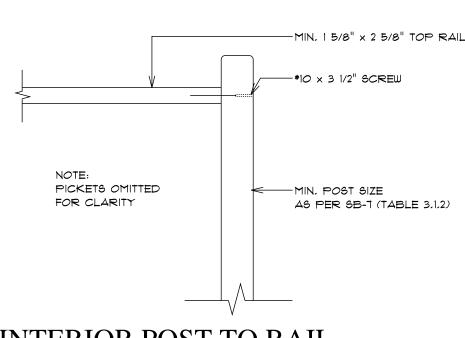
LEGEND

CAPACITY OF 2000 P.S.F.

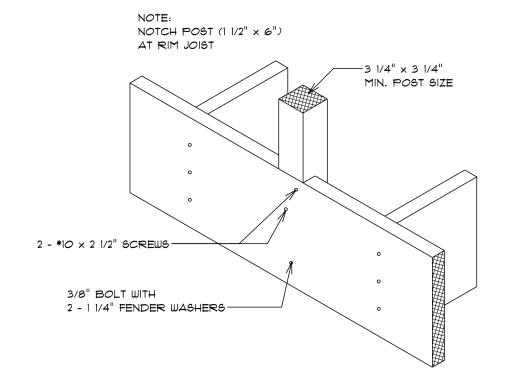
YENTILATOR

HOT WATER HEATER

ALUM.	ALUMINUM	LTL	LINTEL
B.P.	BEAM POCKET	ME	MATCH EXISTING
C.D.	CONDENSATE DRAIN	MIN	MINIMUM
CONC	CONCRETE	MANU	MANUFACTURER
COOR	COORDINATE	MAX	MAXIMUM
D/B	DEADBOLT	N.T.S.	NOT TO SCALE
DIA.	DIAMETER	O.A.	OPEN AIR
DJ	DOUBLE JOIST	O.C.	ON-CENTER
DN	DOWN	P.T.	PRESSURE TREATED
DW	DISHWASHER	PREFIN	PREFINISHED
DWG	DRAWING	RAD,	RADIUS
E,P,	ELECTRICAL PANEL	S.L.	STEEL LINTEL
EQ	EQUAL	SF	STEP FOOTING
F/B	FLUSH BOLT	SIM	SIMILAR
F.D.	FLOOR DRAIN	SPF	SPRUCE PINE FIR
FR	FRIDGE	ST	STOVE
FTG	FOOTING	T/O	TOP OF
FDN	FOUNDATION	TJ	TRIPLE JOIST
HMD	HOLLOW METAL DOOR	TYP	TYPICAL
HMDI	HOLLOW METAL DOOR	U.N.O.	UNLESS NOTED OTHERWISE
	INSULATED	U/S	UNDERSIDE
HMF	HOLLOW METAL FRAME	C.M.D.	CARBON DIOXIDE DETECTOR
HMFI	HOLLOW METAL FRAME	S.A.	SMOKE ALARM
	INSULATED		
HRY	HEAT RECOVERY	EXT	EXHAUST FAN TO EXTERIOR

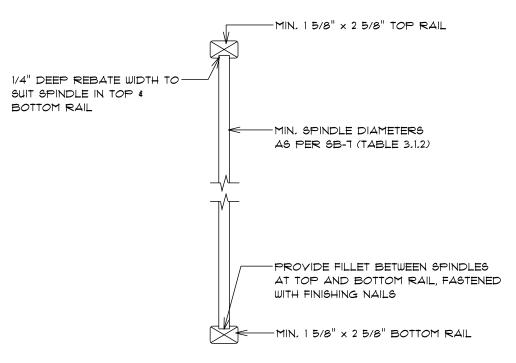






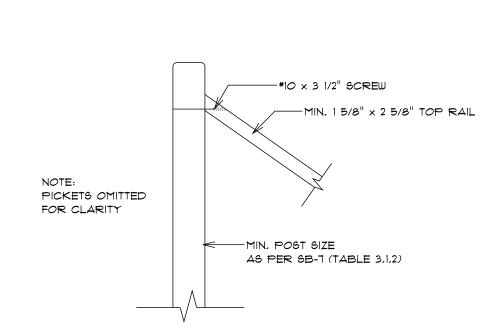
INTERIOR POST TO RIM JOIST

AXONOMETRIC - DETAIL IB-I (6B-7

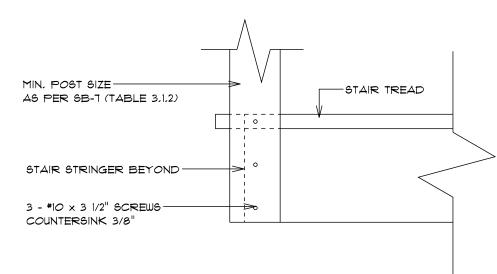


INTERIOR INFILL PICKET INTO RAILS

SIDE ELEVATION - DETAIL IC-I (SB-



INTERIOR RAIL TO POST FRONT ELEVATION - DETAIL IF-I (6B-T)



INTERIOR POST SCREWED TO STRINGER & RISER

SIDE ELEVATION - DETAIL IG-I (SB-7)

SB-12 ENERGY EFFICIENCY SUMMARY

ELEVATION	WALL AREA	GLAZING AREA	GLAZING %	
FRONT ELEVATION	693 SQ.FT	208 SQ.FT	30.0%	
RIGHT ELEVATION	499 SQ.FT	66 SQ.FT	13.2%	
BACK ELEVATION	693 SQ.FT	271 SQ.FT	39.1%	
LEFT ELEVATION	852 SQ.FT	472 SQ.FT	55.4%	
TOTAL	2737 SQ.FT	1017 SQ.FT	37.1%	
	(254.3 SQ.M)	(94.5 SQ.M)	071270	
A1 COMPLIANCE PACKAGE (TABLE 3.1.1.2.A (IP))				

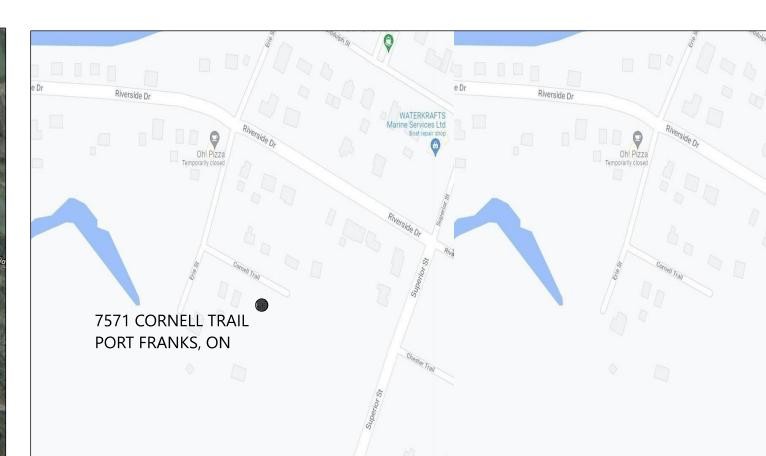
Port FrankSiMBUTO

WATER A AFTS
Manine Services like
Example 1975
And In Grove Mantine

After Dune
Delinin Cottage A

Cillespie Garden's
Bed and Breakfast

Digalore



KEY PLAN



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/ DETAILS

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7571 Cornell Trail Port Franks, ON NOM 2L0

1/4" = 1'-0"

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M.O.

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1598-01-27-24

PROJECT NUMBER

SITE PHOTO KE

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1, ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE, LATEST EDITION AND TO LOCAL MUNICIPALITY

2, ALL BEAMS TO HAVE 3 1/2" END BEARING AND MASONRY
LINTELS TO HAVE 5 7/8" END BEARING.

3. MASONRY VENEER THAT IS 3 1/2" THICK SHALL NOT PROJECT MORE THAN I" FROM SUPPORTING BASE & 1/2" FROM SUPPORTING BASE WHERE THE MASONRY VENEER IS LESS THAN 3 1/2" THICK.

4. MASONRY FLASHINGS TO CONFORM TO 0.B.C. 9.20.13.
5. DOORS AND WINDOWS TO COMPLY WITH RESISTANCE TO

FORCE ENTRY - 0.B.C. 9.7.5.2 \$ 9.7.5.3.

6. ALL NON-LOAD BEARING PARTITIONS TO BE SUPPORTED

6. ALL NON-LOAD BEARING PARTITIONS TO BE SUPPORTED BY EITHER A DOUBLE FLOOR JOIST OR BLOCKING @ 3'-11" O.C. 7. ALL LIGHTING AND ELECTRICAL TO CONFORM WITH O.B.C. 9.34.

8. SMOKE DETECTORS ARE TO BE INSTALLED ON EACH FLOOR

LEVEL AND MUST BE INTERCONNECTED TO MAIN PANEL.

9. BEAMS AND POINT LOADS TO BE SUPPORTED FULL WIDTH AND DOWN TO CONCRETE FOUNDATIONS OR FOOTINGS.

10. RANGE HOODS TO BE VENTED TO THE EXTERIOR WITH NON-COMBUSTIBLE DUCTS.

11. INSULATE AND WEATHERSTRIP ATTIC ACCESS (MIN. SIZE 22"x28")

12, STAIR DIMENSIONS:

MAX, RISE - 7 7/8", MAX, RUN - 14",

MIN, RISE - 5", MIN, RUN - 10" NOSING 1",
(UNIFORMITY AND TOLERANCES AS PER 9.8.4.4. OF

(UNIFORMITY AND TOLERANCES AS PER 9.8.4.4, OF O.B.C.)

WIDTH - 2'-10" MIN,

PROJECTION OF HANDRAILS - 2" MIN.

IN ANY ONE FLIGHT OF STAIRS TO HAVE MIN, HEADROOM OF 6'-5" HANDRAILS TO BE INSTALLED BETWEEN 32" AND 42" A,F,F, GUARDS TO BE:

INTERIOR MIN. 36" HEIGHT, 4" MAX OPENINGS. NON CLIMABLE(9.8.8.6.) EXTERIOR GUARDS TO BE 42" MIN. WHERE THE WALKING SURFACE OF PORCHES, DECKS, LANDING AND BALCONIES ARE LESS THAN 5'-11" AND 42" MIN. FOR ANYTHING EXCEEDING 5'-11" ABOVE FINISHED GRADE (9.8.8.3.)

STAIR DIMENSIONS: EXTERIOR (INCLUDING GARAGE)

MAX, RISE - 7 7/8", MAX, RUN - 14",

MIN, RISE - 5", MIN, RUN - 10" MIN TREAD - 9 1/4", NOSING 1",

(UNIFORMITY AND TOLERANCES AS PER 9,8,4,4, OF O,B,C,)
GUARD HEIGHT:

2'-0" ABOYE GRADE TO BE MIN, 35"

5'-11" ABOVE GRADE TO BE 42"

LANDING REQUIRED AT MAIN ENTRANCE.

LANDING REQUIRED AT SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS FOR STAIRS.

HANDRAIL IS REQUIRED WHEN MORE THAN 3 RISERS AND INSTALLED BETWEEN 31" AND 42".

13. STAIRS TO BASEMENTS TO BE ENCLOSED BY WALLS OR GUARDS.

14, MIN, HEADROOM BELOW BEAMS AND DUCTS TO BE 6'-5".

15, ALL GUARDS TO CONFROM TO SB-7 OF THE O.B.C.
16, ROOF & ATTIC YENTILATION MUST CONFORM TO OB.C.

9.19.1.1. TO 9.19.1.4,

17. PROVIDE AN AIR BARRIERS IN ACCORDANCE WITH O.B.C. 9.25.5.

18. PROVIDE MIN. HEADROOM OF 6'-5" BELOW DUCTS AND BEAMS.

19. ALL MASONRY STEEL LINTELS TO CONFORM TO SECTION 9.20.5.2.,

TABLE 9.20.5.A.

20. MASONRY WEEP HOLES TO BE AT 31" O.C. AND IN

ACCORDANCE WITH 9.20.13.8.

21. CERAMIC FLOORS TO BE SIPPORTED AS PER O.B.C. 9.30.6.3.

22. ALL WOOD IN CONTACT WITH CONCRETE TO BE PROTECTED FROM MOISTURE.

23. ALL CHIMNEYS & FIREPLACES TO CONFORM TO SECTION 9.21 & 9.22.

24. CONCRETE STAIRS OVER 2 TREADS/RISERS REQUIRED TO BE SUPPORTED ON A FOUNDATION.

25. ALL STUD WALLS BETWEEN GARAGE & LIVING AREAS TO BE 2x6 STUDS @ 16" O.C. c/w R22 INSULATION & 1/2"

GYPSUM BOARD.

26. ALL AIR BARRIERS TO BE CONTINUOUS & SEALEDWITH

MANUFACTURER RECOMMENDED SEALANT AT ALL JOINTS,

PENETRATIONS & INTERFACE WITH ADJACENT MATERIALS.

27. SEAL TOP OF FOUNDATION WALL TO AIR BARRIER,

FOUNDATION WALL TO CONCRETE SLAB & ALL PENETRATIONS THROUGH CONCRETE SURFACES.

28. COORDINATE ALL EXTERIOR DOOR & WINDOW ROUGH

OPENINGS WITH DOOR & WINDOW SUPPLIER.

29. ROOF FLASHINGS TO CONFORM TO O.B.C. 9.26.4.

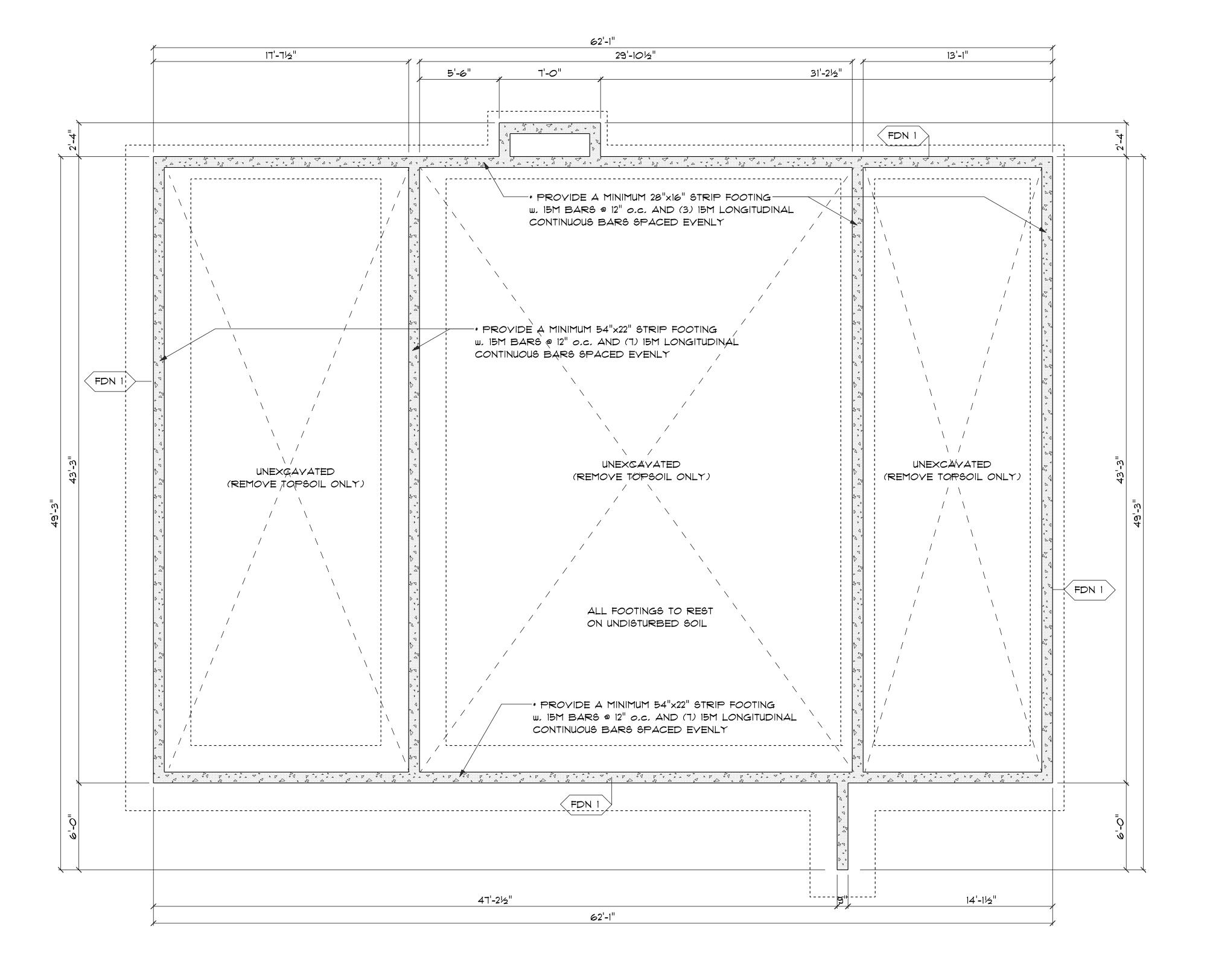
30. GARAGE FOUNDATION WALL TO BE FOUNDED MIN. 4'-0" BELOW

FINISHED GRADE TO ENSURE ADEQUATE FROST PROTECTION

31. PROVIDE 2 COATS ASPHALT DAMP PROOFING TO ALL BELOW GRADE FOUNDATION WALLS

32. PROVIDE APPROVED DRAINAGE LAYER TO FOUNDATION WALLS BELOW GRADE

33. CONTRACTOR(S) TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT AND DISCREPANCY, ERRORS OR OMISSIONS PRIOR TO ANY CONSTRUCTION.



FOUNDATION PLAN



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FDN 1 -9" POURED CONCRETE FOUNDATION WALL SCALE

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SEP 27, 2023

PROJECT NUMBER

1598-01-27-24

DRAWING NO.

- 1. ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING
 CODE, LATEST EDITION AND TO LOCAL MUNICIPALITY
- 2. ALL BEAMS TO HAVE 3 1/2" END BEARING AND MASONRY LINTELS TO HAVE 5 7/8" END BEARING.
- 3. MASONRY VENEER THAT IS 3 1/2" THICK SHALL NOT PROJECT MORE THAN 1" FROM SUPPORTING BASE & 1/2" FROM SUPPORTING BASE WHERE THE MASONRY VENEER IS LESS THAN 3 1/2" THICK.
- 4. MASONRY FLASHINGS TO CONFORM TO O.B.C. 9.20.13.
- 5. DOORS AND WINDOWS TO COMPLY WITH RESISTANCE TO FORCE ENTRY O.B.C. 9.7.5.2 & 9.7.5.3.
- 6. ALL NON-LOAD BEARING PARTITIONS TO BE SUPPORTED BY EITHER A DOUBLE FLOOR JOIST OR BLOCKING @ 3'-11" O.C.
- 7. ALL LIGHTING AND ELECTRICAL TO CONFORM WITH O.B.C. 9.34. 8. SMOKE DETECTORS ARE TO BE INSTALLED ON EACH FLOOR
- LEYEL AND MUST BE INTERCONNECTED TO MAIN PANEL.

 9. BEAMS AND POINT LOADS TO BE SUPPORTED FULL WIDTH
- AND DOWN TO CONCRETE FOUNDATIONS OR FOOTINGS.
- 10. RANGE HOODS TO BE VENTED TO THE EXTERIOR WITH NON-COMBUSTIBLE DUCTS.
- 11. INSULATE AND WEATHERSTRIP ATTIC ACCESS (MIN. SIZE 22"x28")
 12. STAIR DIMENSIONS:
- MAX, RISE 7 7/8", MAX, RUN 14",
- MIN, RISE 5", MIN, RUN 10" NOSING 1",
 (UNIFORMITY AND TOLERANCES AS PER 9,8,4,4, OF 0,B,C,)
- WIDTH 2'-10" MIN.
- PROJECTION OF HANDRAILS 2" MIN.
- IN ANY ONE FLIGHT OF STAIRS TO HAVE MIN. HEADROOM OF 6'-5" HANDRAILS TO BE INSTALLED BETWEEN 32" AND 42" A.F.F. GUARDS TO BE:
- INTERIOR MIN. 36" HEIGHT, 4" MAX OPENINGS. NON CLIMABLE(9.8.8.6.)
 EXTERIOR GUARDS TO BE 42" MIN. WHERE THE WALKING SURFACE OF
 PORCHES, DECKS, LANDING AND BALCONIES ARE LESS THAN 5'-11"
 AND 42" MIN. FOR ANYTHING EXCEEDING 5'-11" ABOVE FINISHED
- GRADE (9,8,8,3,)
 STAIR DIMENSIONS: EXTERIOR (INCLUDING GARAGE)
- MAX, RISE 7 7/8", MAX, RUN 14",
- MIN, RISE 5", MIN, RUN 10"
- MIN TREAD 9 1/4", NOSING 1",

 (UNIFORMITY AND TOLERANCES AS PER 9,8,4,4, OF 0,B,C,)
- GUARD HEIGHT:
- 2'-0" ABOYE GRADE TO BE MIN. 35"
- 5'-11" ABOVE GRADE TO BE 42"
- LANDING REQUIRED AT MAIN ENTRANCE.
- LANDING REQUIRED AT SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS FOR STAIRS,
- HANDRAIL IS REQUIRED WHEN MORE THAN 3 RISERS AND INSTALLED BETWEEN 31" AND 42".
- 13. STAIRS TO BASEMENTS TO BE ENCLOSED BY WALLS OR GUARDS.
- 14. MIN. HEADROOM BELOW BEAMS AND DUCTS TO BE 6'-5".
- 15. ALL GUARDS TO CONFROM TO SB-T OF THE O.B.C.
- 16. ROOF & ATTIC VENTILATION MUST CONFORM TO OB.C. 9.19.1.1. TO 9.19.1.4.
- IT. PROVIDE AN AIR BARRIERS IN ACCORDANCE WITH O.B.C. 9.25.5. 18. PROVIDE MIN. HEADROOM OF 6'-5" BELOW DUCTS AND BEAMS.
- 19. ALL MASONRY STEEL LINTELS TO CONFORM TO SECTION 9.20.5.2.
- TABLE 9.20.5.A.

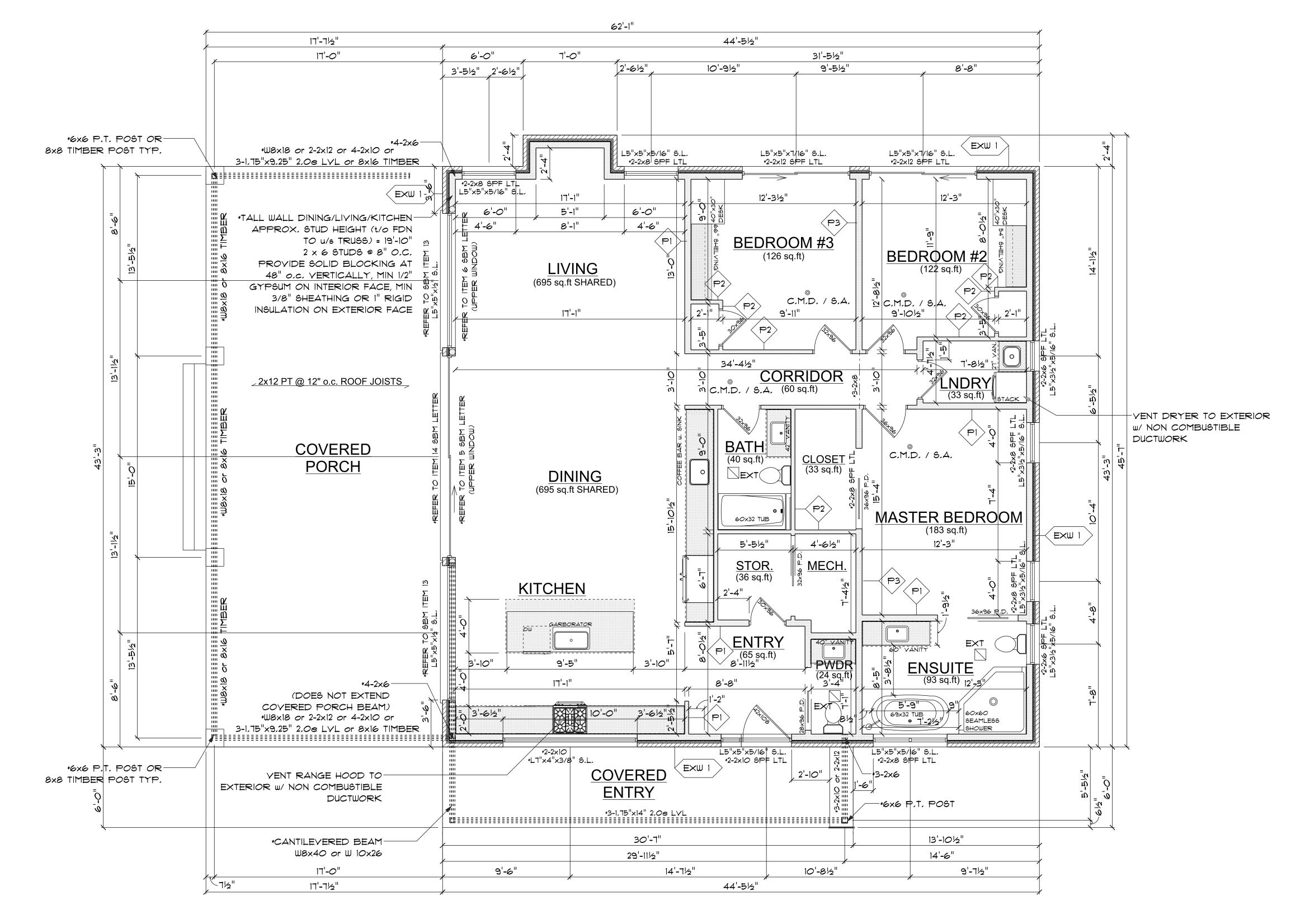
 20. MASONRY WEEP HOLES TO BE AT 31" O.C. AND IN
- ACCORDANCE WITH 9.20.13.8.
- 21. CERAMIC FLOORS TO BE SIPPORTED AS PER O.B.C. 9.30.6.3.
 22. ALL WOOD IN CONTACT WITH CONCRETE TO BE PROTECTED
- FROM MOISTURE.
- 23. ALL CHIMNEYS & FIREPLACES TO CONFORM TO SECTION 9.21 & 9.22.
- 24. CONCRETE STAIRS OVER 2 TREADS/RISERS REQUIRED TO BE SUPPORTED ON A FOUNDATION.
- 25. ALL STUD WALLS BETWEEN GARAGE & LIVING AREAS TO BE 2x6 STUDS @ 16" O.C. c/w R22 INSULATION & 1/2"
 GYPSUM BOARD.
- 26. ALL AIR BARRIERS TO BE CONTINUOUS & SEALEDWITH MANUFACTURER RECOMMENDED SEALANT AT ALL JOINTS,
- PENETRATIONS & INTERFACE WITH ADJACENT MATERIALS.

 27. SEAL TOP OF FOUNDATION WALL TO AIR BARRIER,
 FOUNDATION WALL TO CONCRETE SLAB & ALL PENETRATIONS
- THROUGH CONCRETE SURFACES.

 28. COORDINATE ALL EXTERIOR DOOR # WINDOW ROUGH
- OPENINGS WITH DOOR & WINDOW SUPPLIER.

 29. ROOF FLASHINGS TO CONFORM TO 0.B.C. 9.26.4.
- 30. GARAGE FOUNDATION WALL TO BE FOUNDED MIN. 4'-O" BELOW
- FINISHED GRADE TO ENSURE ADEQUATE FROST PROTECTION

 31. PROVIDE 2 COATS ASPHALT DAMP PROOFING TO ALL BELOW GRADE FOUNDATION WALLS
- 32. PROVIDE APPROVED DRAINAGE LAYER TO FOUNDATION WALLS BELOW GRADE
- 33. CONTRACTOR(S) TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT AND DISCREPANCY, ERRORS OR OMISSIONS PRIOR TO ANY CONSTRUCTION.
 - ALL STEEL ANGLES SUPPORTING MASONRY VENEER TO HAVE MIN, 6" BEARING LENGTH AT ENDS U.N.O.
 - ALL ELECTRICAL WORK TO BE COMPLETED AS PER O.B.C. 9.34
- ALL INTERIOR PARTITIONS TO BE 2x4 @ 16" O.C. W. DRYWALL BOTH SIDES UNLESS NOTED OTHERWISE



MAIN FLOOR PLAN 1600 sq.ft

EXW 1
-BRICK
-TYVEK HOUSEWRAP
-1" R5 RIGID INSULATION
-7/16" EXT. SHEATHING
-2 x 6 STUDS @ 16" O.C.

W/R22 BATT INSULATION
-6 MIL PLOY VAPOUR BARRIER
-1/2" DRYWALL

PI
-1/2" DRYWALL
-2 x 6 STUDS @ 16" O.C.
-1/2" DRYWALL
*WHERE NO FINISH IS INSTALLED
ON STUDS, PROVIDE BLOCKING

SECURED TO STUDS AT MID-HEIGHT*

-1/2" DRYWALL -2 × 4 STUDS @ 16" O.C. -1/2" DRYWALL

APPROX. STUD HEIGHT (t/o FDN TO u/s TRUSS) = 16'-0"

2 x 6 STUDS @ 16" O.C.

PROVIDE SOLID BLOCKING AT 48" O.C. VERTICALLY,

MIN 1/2" GYPSUM OR MIN 3/8" SHEATHING ON BOTH

FACES. PROVIDE DOUBLE TOP PLATE AND SINGLE

BOTTOM PLATE AS PER OBC 9.3.10.1.(2), BEAR WALL

ON MIN. 28" WIDE x 11" CONCRETE STRIP FOOTING OR

THICKEN SLAB LOCALLY TO THESE DIMENSIONS

BELOW WALL,

LIMITLESS
ENVISION | DESIGN | CREATE

GENERAL NOTES:

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2. CONTRACTOR TO VERIFY ALL DIMENSIONS & COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.

3. ALL CONSTRUCTION TO BE CARRIED OUT WITH FULL COMMITMENT TO PERSONAL EQUIPMENT & MATERIALS SAFETY. AS A MINIMUM ALL OPERATING PROCEDURES ARE TO COMPLY WITH THE CURRENT OCCUPATIONAL HEALTH & SAFETY ACT & REGULATIONS FOR CONSTRUCTION PROJECTS, FOR ONTARIO, AS WELL AS THE CONSTRUCTION HEALTH & SAFETY MANUAL BY THE CONSTRUCTION SAFETY ASSOCIATION OF ONTARIO.

4. DO NOT SCALE DRAWINGS.

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-		
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NO.	REVISION/ISSUE	DATE

DRAWING TITLE

MAIN FLOOR PLAN

DRAWING TITLE

7571 Cornell Trail Port Franks, ON NOM 2L0

SCALE

1/4" = 1'-0"

DATE

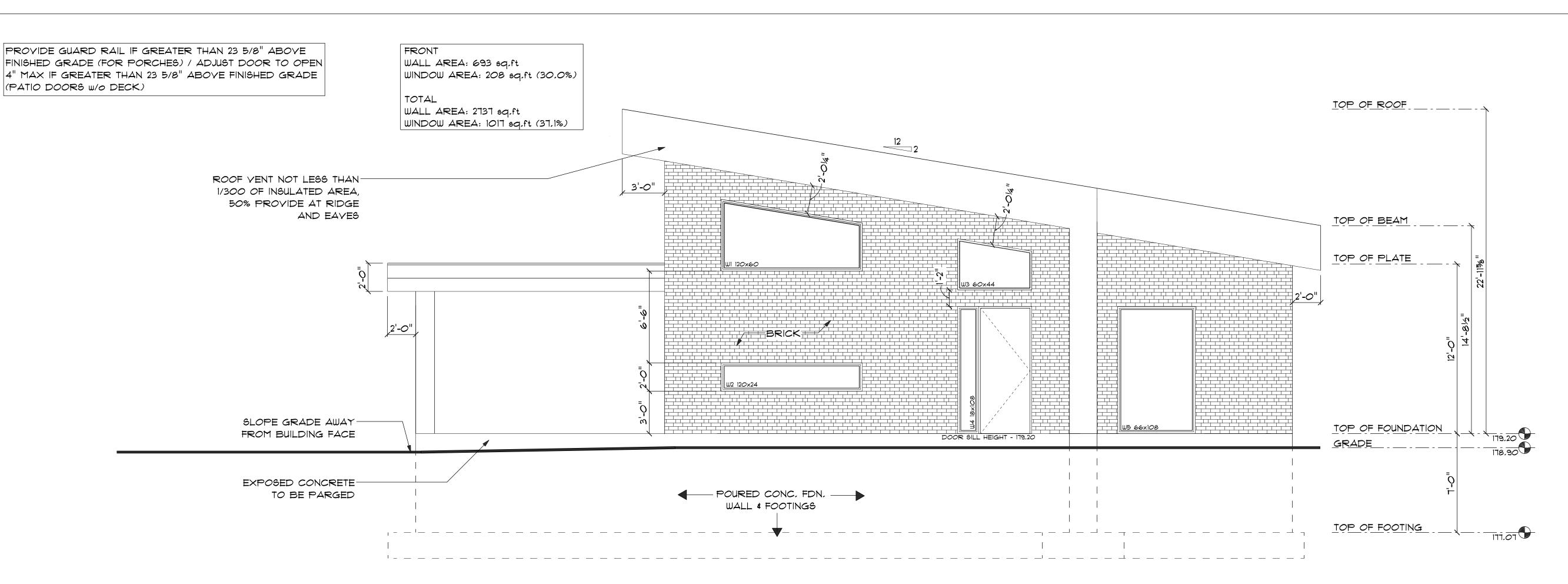
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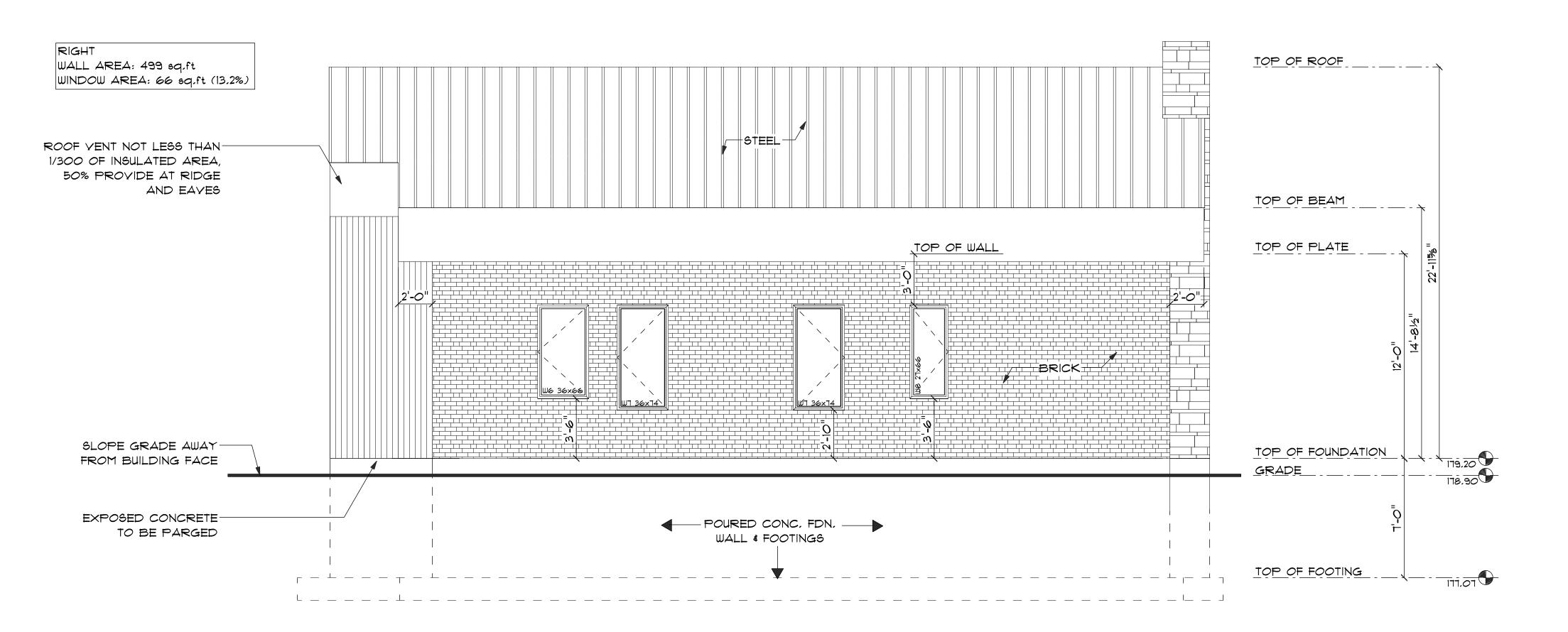
DATE

SEP 27, 2023

DRAWN BY
M.O.



FRONT ELEVATION



RIGHT ELEVATION



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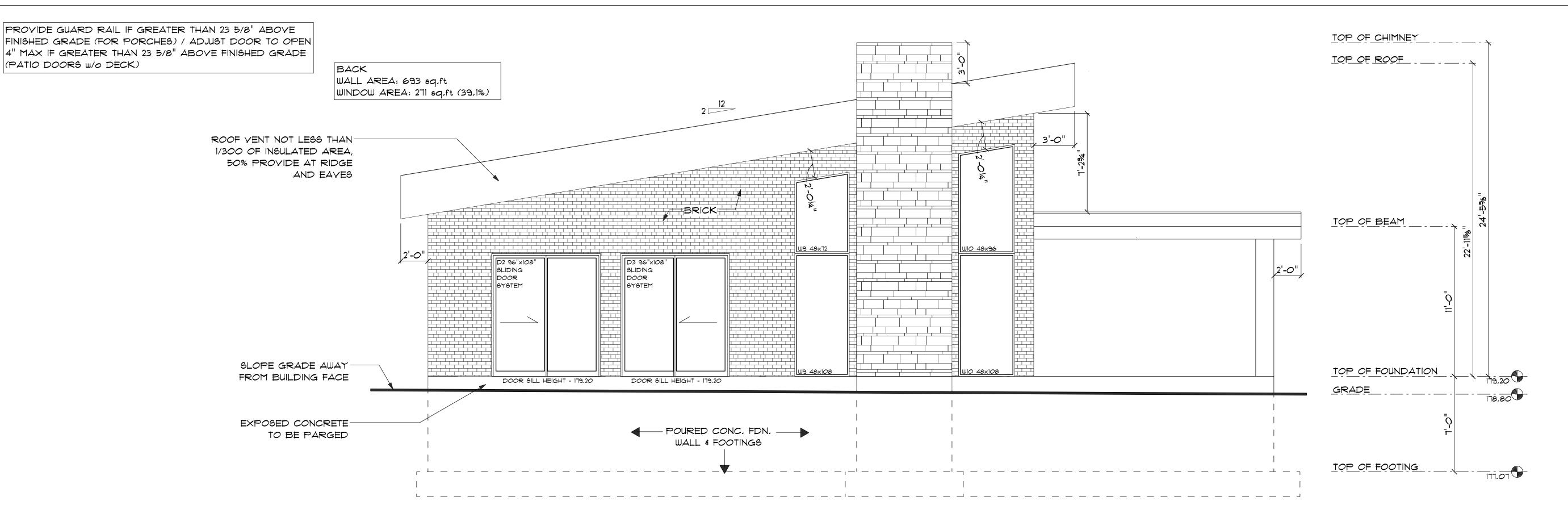
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	11 10 9 8 7	12 CONSTRUCTION 11 ISSUE FOR REVIEW 10 ISSUE FOR REVIEW 9 ISSUE FOR REVIEW 8 ISSUE FOR REVIEW 7 ISSUE FOR REVIEW

DRAWING TITLE

FRONT & RIGHT ELEVATIONS

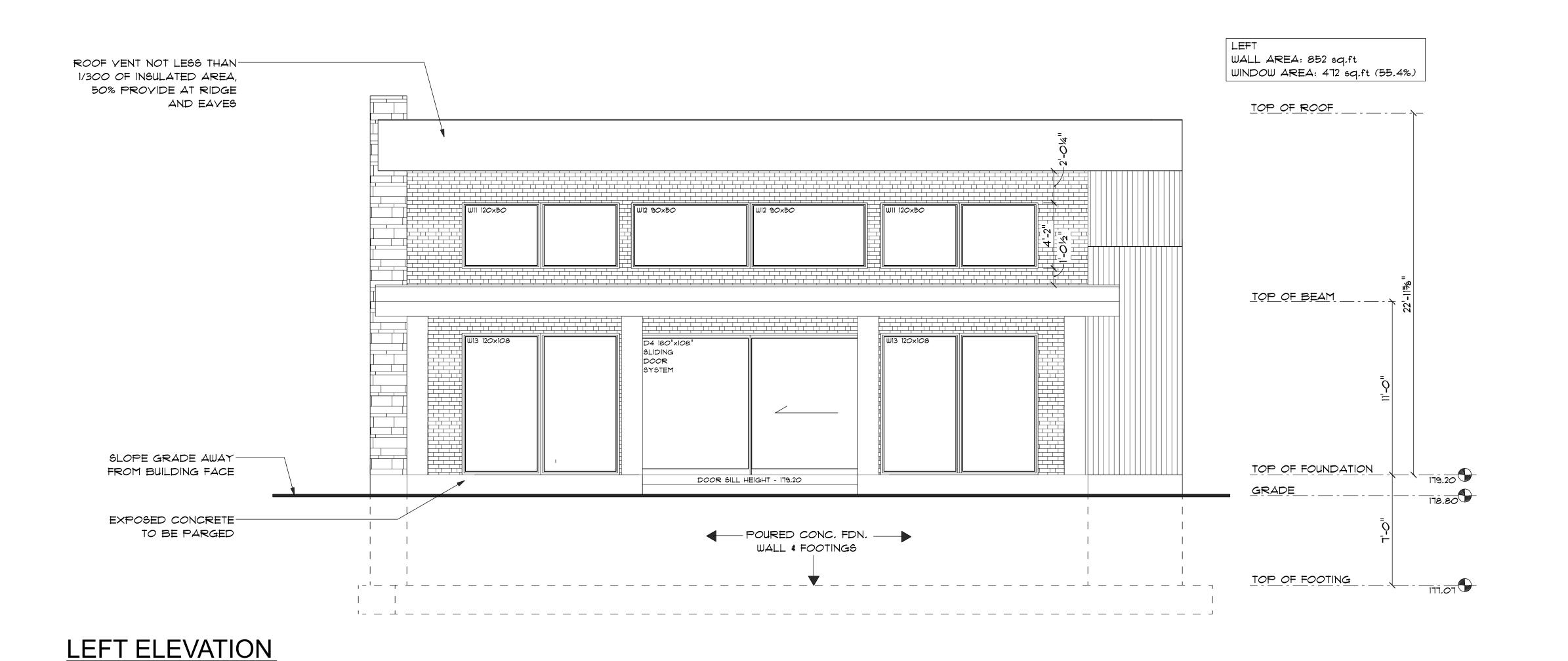
7571 Cornell Trail Port Franks, ON NOM 2L0

SCALE	PROJECT NUMBER
1/4" = 1'-0"	1598-01-27-24
DATE	DRAWING NO.
SEP 27, 2023	
DD AVAM DV	



BACK ELEVATION

(PATIO DOORS W/O DECK)



ENVISION | DESIGN | CREATE

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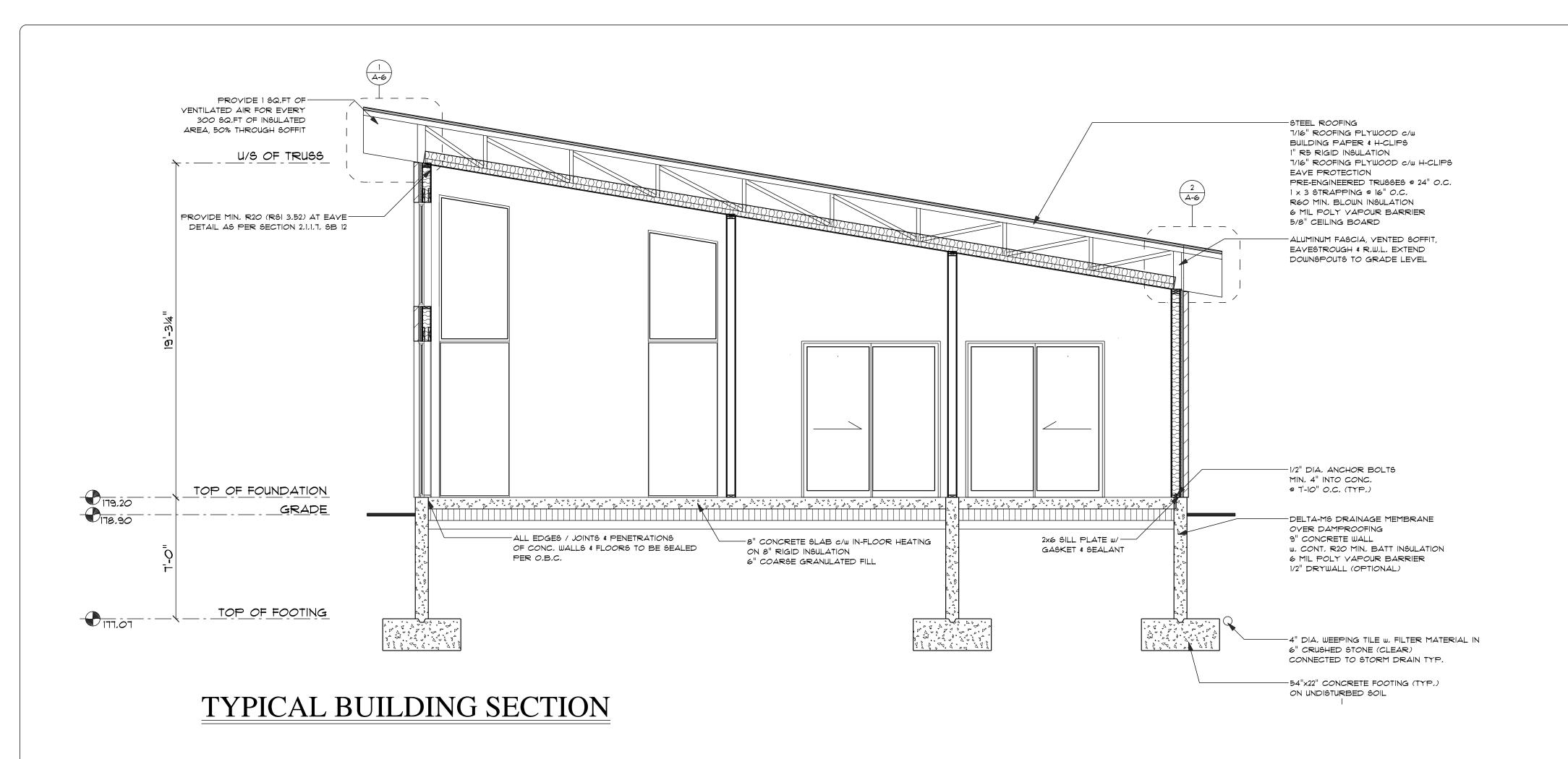
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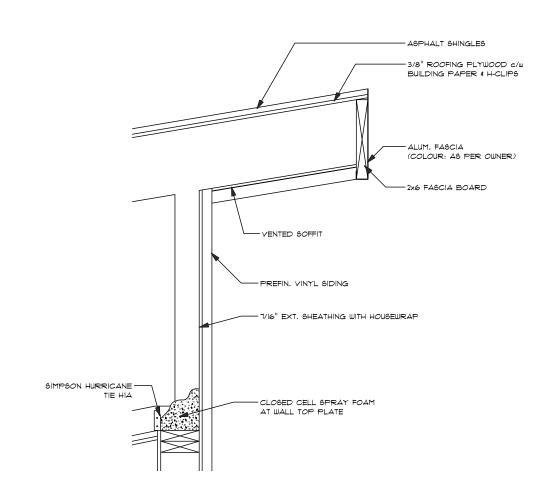
BACK & LEFT ELEVATIONS

7571 Cornell Trail Port Franks, ON NOM 2L0

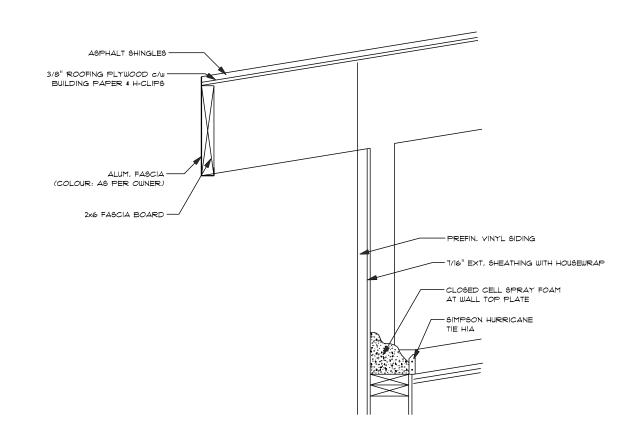
PROJECT NUMBER 1598-01-27-24 1/4'' = 1'-0''SEP 27, 2023 DRAWN BY

M.O.

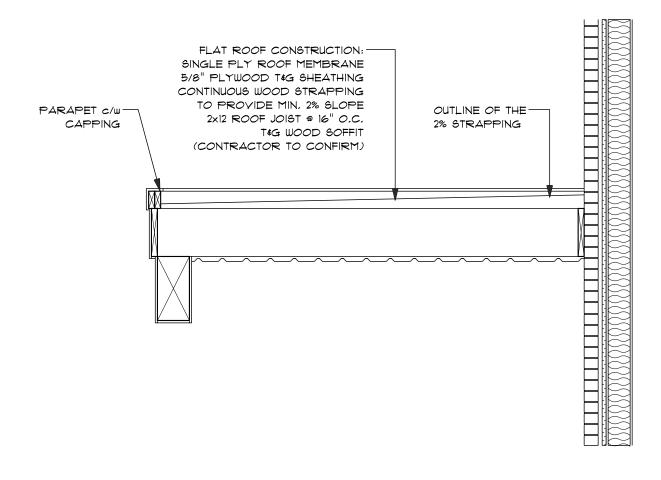




1 <u>DETAILS - FRONT EAVE</u>



2 <u>DETAILS - BACK EAVE</u>



COVERED PORCH DETAIL



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DRAWING TITLE

BUILDING SECTION
/ DETAILS

7571 Cornell Trail Port Franks, ON NOM 2L0

SCALE

1/4" = 1'-0"

DATE

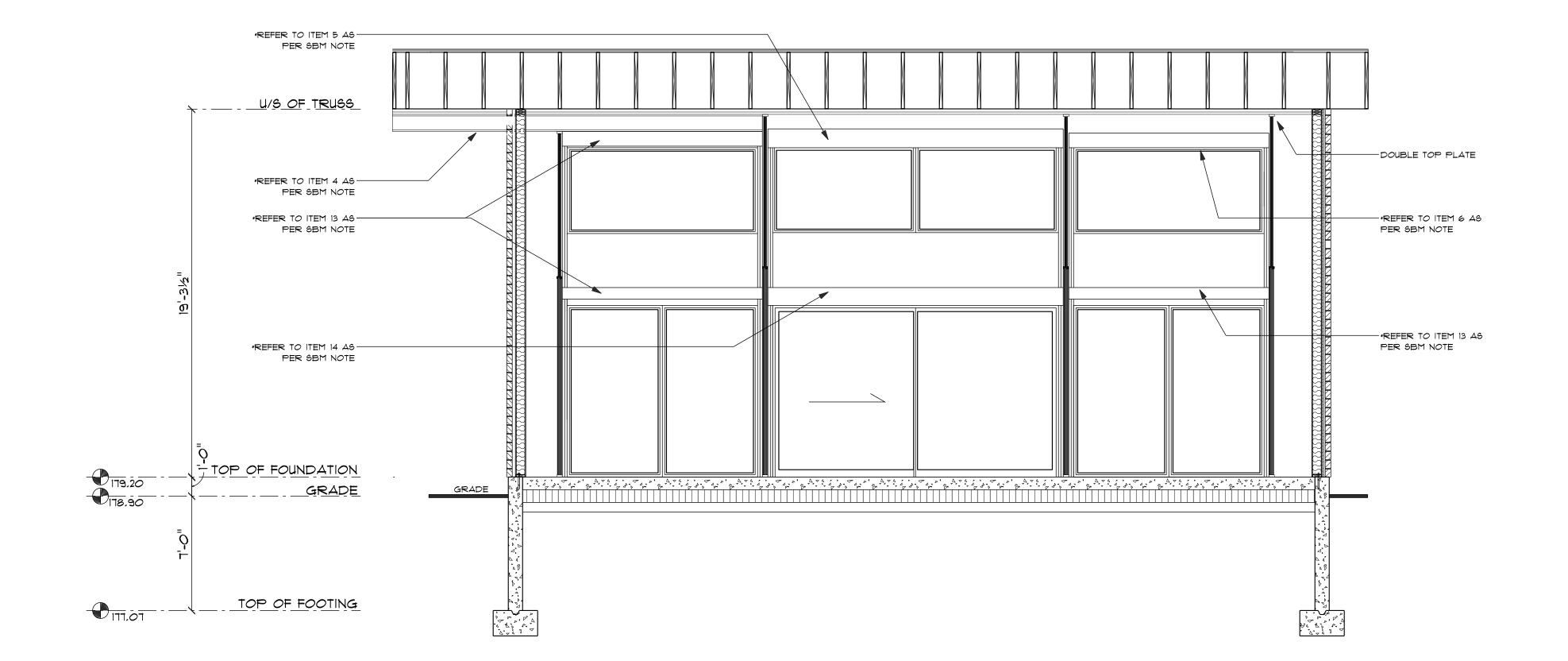
SEP 27, 2023

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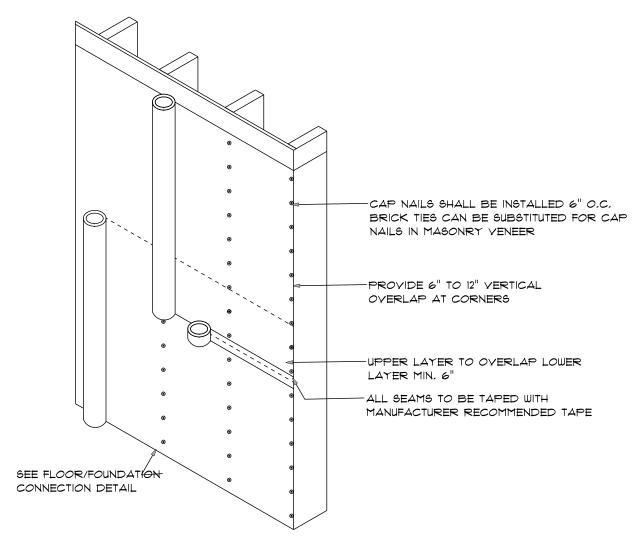
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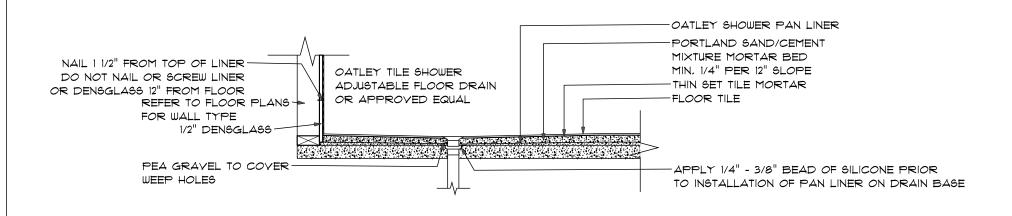
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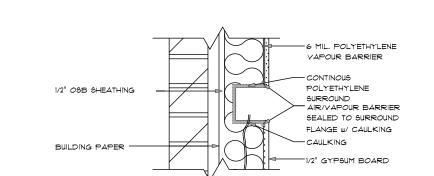
TALL WALL BUILDING SECTION



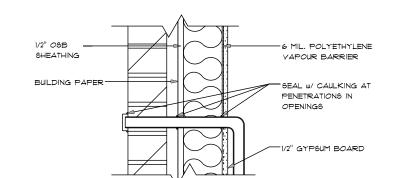
AIR BARRIER DETAIL



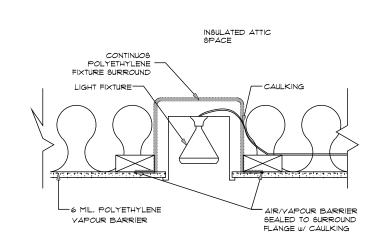
SHOWER PAN DETAIL



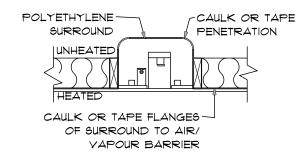
AIR/VAPOUR BARRIER DEAIL AT ELEC. BOXES IN EXTERIOR WALLS



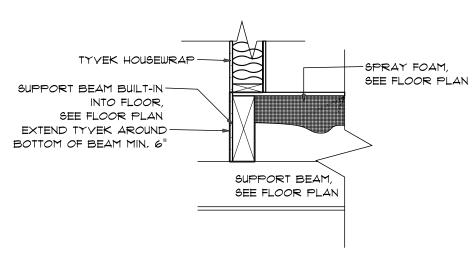
AIR/VAPOUR BARRIER DETAIL AT PENETRATIONS IN EXTERIOR WALLS



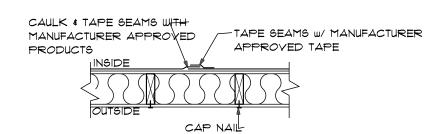
AIR/VAPOUR BARRIER DETAIL AT CEILING ELEC. FIXTURE



AIR BARRIER @ PENETRATIONS

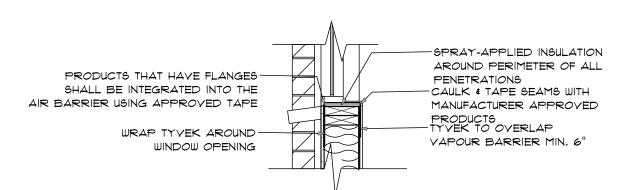


TYP. AIR BARRIER @ BEAM

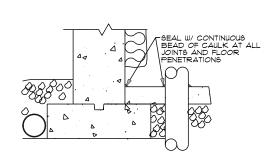


TYP. JOINT @ AIR BARRIER





AIR BARRIER @ WINDOWS/DOORS



AIR/VAPOUR BARRIER DETAIL AT CONCRETE FLOOR



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DRAWING TITLE

BUILDING DETAILS

7571 Cornell Trail Port Franks, ON NOM 2L0

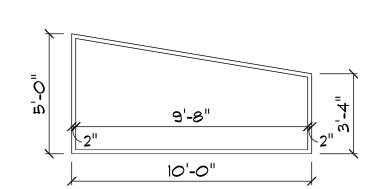
1/4" = 1'-0" SEP 27, 2023

M.O.

DRAWN BY

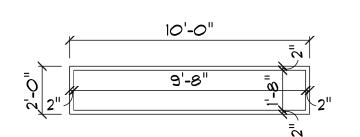
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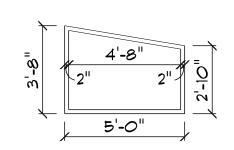
W1 EXTERIOR WINDOW & FRAME

- RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER - THERMALLY BROKEN EXTERIOR FRAMES - SEALED DOUBLE GLAZING



W2 EXTERIOR WINDOW & FRAME

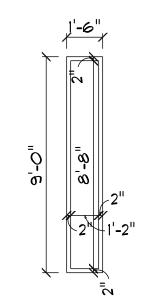
- RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER - THERMALLY BROKEN EXTERIOR FRAMES - SEALED DOUBLE GLAZING



W3 EXTERIOR WINDOW & FRAME

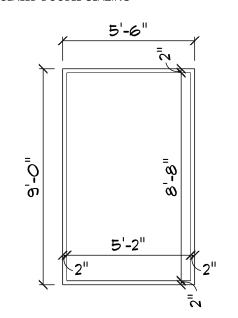
RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER - THERMALLY BROKEN EXTERIOR FRAMES

- SEALED DOUBLE GLAZING



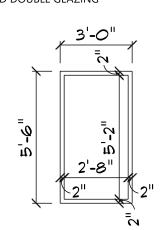
W4 ENTRY WINDOW & FRAME

RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER THERMALLY BROKEN EXTERIOR FRAMES - SEALED DOUBLE GLAZING



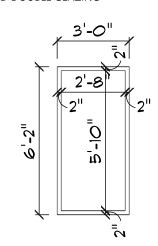
W5 EXTERIOR WINDOW & FRAME

- RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER - THERMALLY BROKEN EXTERIOR FRAMES - SEALED DOUBLE GLAZING



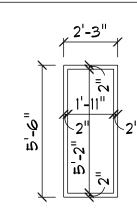
W6 EXTERIOR WINDOW & FRAME

- RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER - THERMALLY BROKEN EXTERIOR FRAMES - SEALED DOUBLE GLAZING



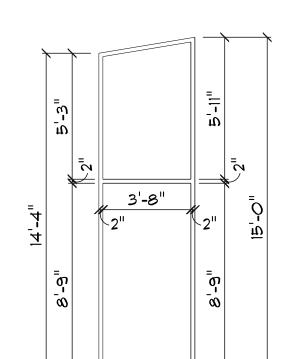
W7 EXTERIOR WINDOW & FRAME (2)

RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER THERMALLY BROKEN EXTERIOR FRAMES SEALED DOUBLE GLAZING



W8 EXTERIOR WINDOW & FRAME

RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER THERMALLY BROKEN EXTERIOR FRAMES SEALED DOUBLE GLAZING

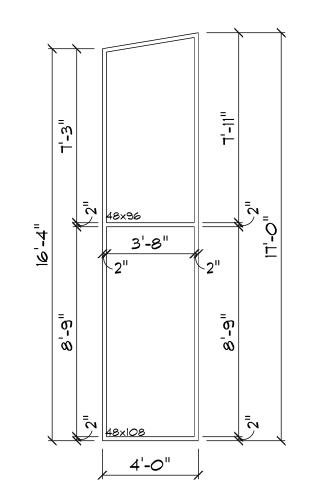


4'-0"

W9 EXTERIOR WINDOW & FRAME

RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER THERMALLY BROKEN EXTERIOR FRAMES

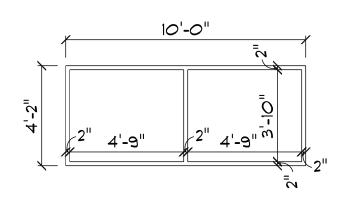
- SEALED DOUBLE GLAZING



W10 EXTERIOR WINDOW & FRAME

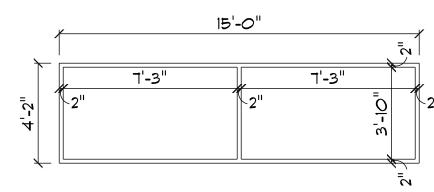
RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER THERMALLY BROKEN EXTERIOR FRAMES

- SEALED DOUBLE GLAZING



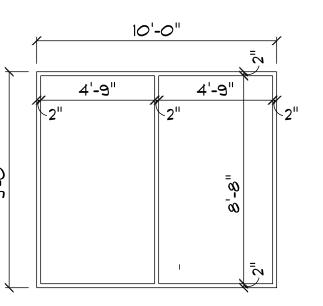
W11 EXTERIOR WINDOW & FRAME (2)

RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER THERMALLY BROKEN EXTERIOR FRAMES SEALED DOUBLE GLAZING



W12 EXTERIOR WINDOW & FRAME

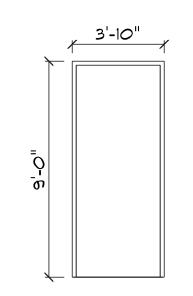
RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER THERMALLY BROKEN EXTERIOR FRAMES - SEALED DOUBLE GLAZING



W13 EXTERIOR WINDOW & FRAME (2)

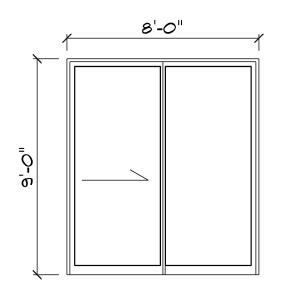
RESIDENTIAL GRADE VINYL WINDOW - SELECTION BY OWNER THERMALLY BROKEN EXTERIOR FRAMES

SEALED DOUBLE GLAZING

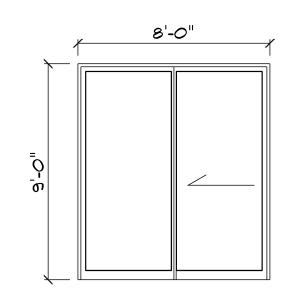


D1 EXTERIOR DOOR & FRAME

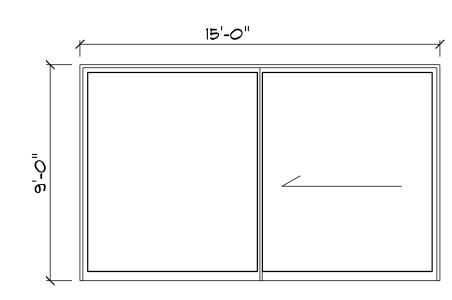
- SOLID CORE DOOR, HARDBOARD SURFACE, SITE PRIMED & PAINTED COLOUR: TBD BY OWNER



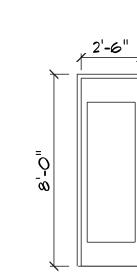
D2 EXTERIOR SLIDING DOOR & FRAME



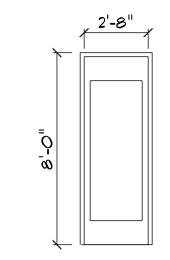
D3 EXTERIOR SLIDING DOOR & FRAME



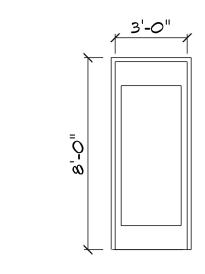
D4 EXTERIOR SLIDING DOOR & FRAME



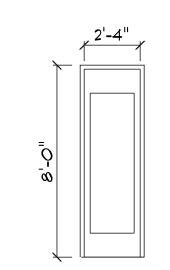
D5 INTERIOR DOOR & FRAME (3)



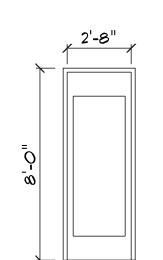
D6 INTERIOR DOOR & FRAME (4)



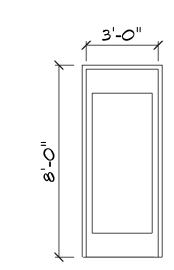
D7 INTERIOR DOOR & FRAME



D8 INTERIOR POCKET DOOR & FRAME



D9 INTERIOR POCKET DOOR & FRAME



D10 INTERIOR POCKET DOOR & FRAME (2)



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DRAWING TITLE

WINDOW & DOOR SCHEDULE

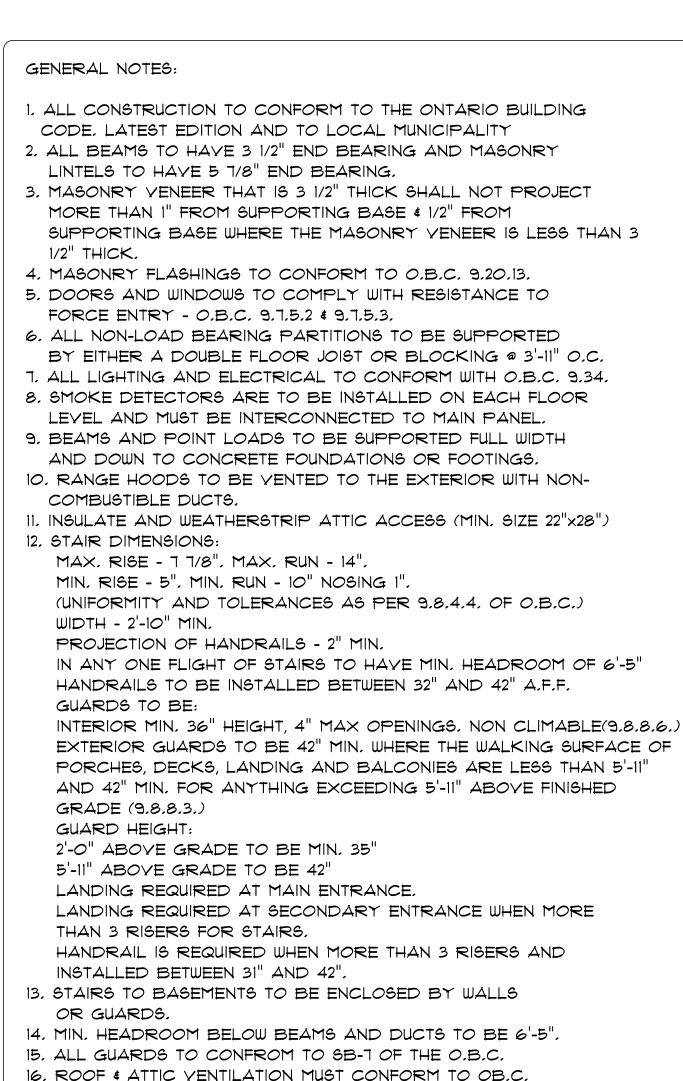
7571 Cornell Trail Port Franks, ON NOM 2L0

1/4" = 1'-0"

SEP 27, 2023 DRAWN BY M.O.



PROJECT NUMBER



17. PROVIDE AN AIR BARRIERS IN ACCORDANCE WITH 0.B.C. 9.25.5.

19. ALL MASONRY STEEL LINTELS TO CONFORM TO SECTION 9.20.5.2.,

18. PROYIDE MIN, HEADROOM OF 6'-5" BELOW DUCTS AND BEAMS.

21. CERAMIC FLOORS TO BE SIPPORTED AS PER O.B.C. 9.30.6.3

24, CONCRETE STAIRS OVER 2 TREADS/RISERS REQUIRED TO BE

25, ALL STUD WALLS BETWEEN GARAGE & LIVING AREAS TO BE

MANUFACTURER RECOMMENDED SEALANT AT ALL JOINTS,

FOUNDATION WALL TO CONCRETE SLAB & ALL PENETRATIONS

30. GARAGE FOUNDATION WALL TO BE FOUNDED MIN. 4'-0" BELOW FINISHED GRADE TO ENSURE ADEQUATE FROST PROTECTION

32. PROVIDE APPROVED DRAINAGE LAYER TO FOUNDATION WALLS

33, CONTRACTOR(S) TO CHECK AND YERIFY ALL DIMENSIONS AND

ALL NON-LOAD BEARING PARTITIONS TO BE 2x4 AT 16" O.C.

FLOOR JOIST SPANS AS PER THE CANADIAN WOOD COUNCIL THE SPAN BOOK, FLOOR SHEATHING TO BE 5/8" THICK GLUED

W. DRYWALL BOTH SIDES UNLESS OTHERWISE NOTED

& SCREWED UNLESS NOTED OTHERWISE

REPORT AND DISCREPANCY, ERRORS OR OMISSIONS PRIOR

31. PROVIDE 2 COATS ASPHALT DAMP PROOFING TO ALL BELOW GRADE

PENETRATIONS & INTERFACE WITH ADJACENT MATERIALS.

22. ALL WOOD IN CONTACT WITH CONCRETE TO BE PROTECTED

23, ALL CHIMNEYS & FIREPLACES TO CONFORM TO SECTION

20, MASONRY WEEP HOLES TO BE AT 31" O.C. AND IN

2x6 STUDS @ 16" O.C. c/w R22 INSULATION \$ 1/2"

27. SEAL TOP OF FOUNDATION WALL TO AIR BARRIER,

OPENINGS WITH DOOR & WINDOW SUPPLIER. 29. ROOF FLASHINGS TO CONFORM TO O.B.C. 9.26.4.

28. COORDINATE ALL EXTERIOR DOOR & WINDOW ROUGH

26. ALL AIR BARRIERS TO BE CONTINUOUS & SEALEDWITH

9.19.1.1. TO 9.19.1.4.

TABLE 9.20.5.A.

FROM MOISTURE,

GYPSUM BOARD.

FOUNDATION WALLS

TO ANY CONSTRUCTION.

BELOW GRADE

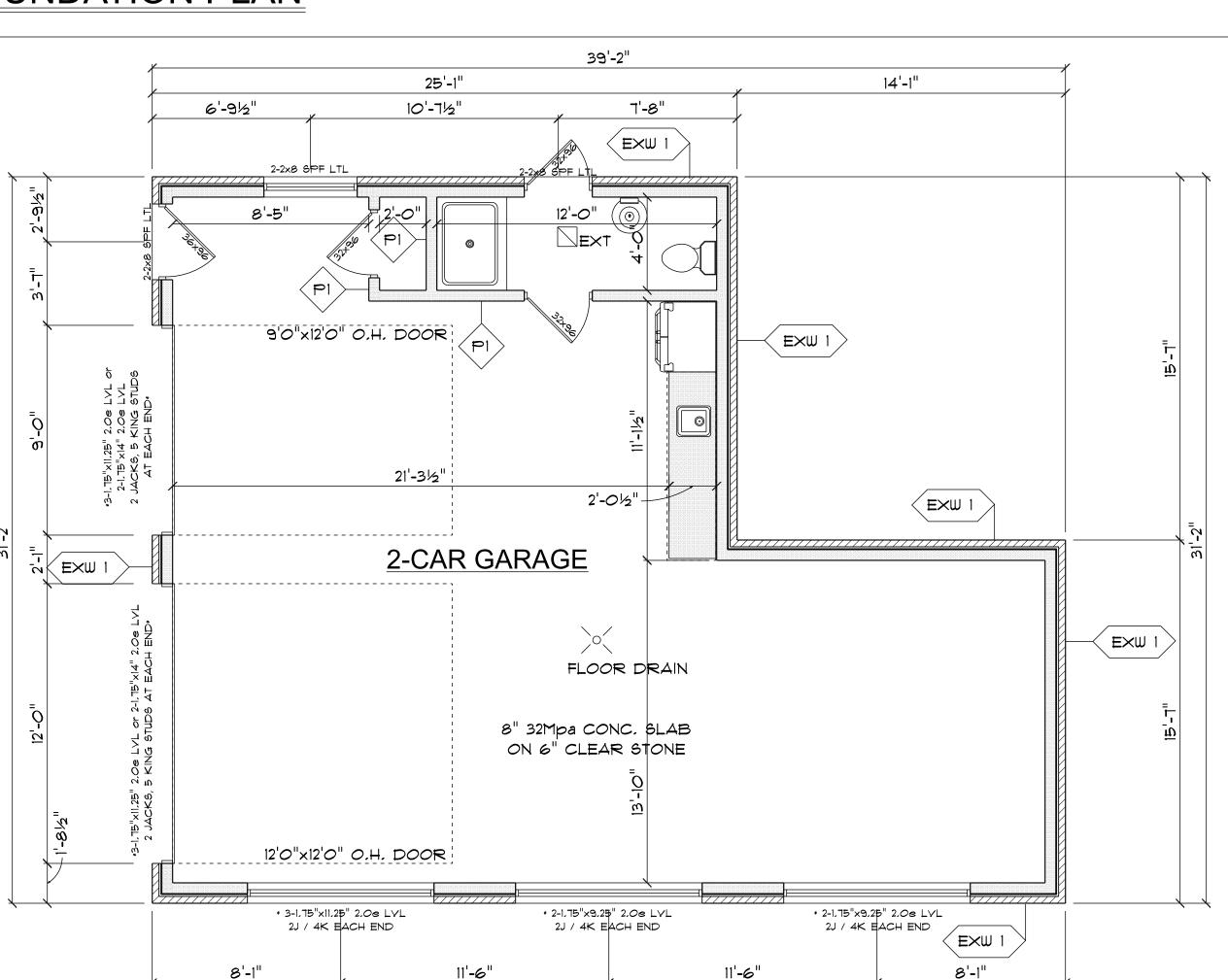
9.21 \$ 9.22.

ACCORDANCE WITH 9.20.13.8.

SUPPORTED ON A FOUNDATION.

THROUGH CONCRETE SURFACES.

FOUNDATION PLAN



39'-2"

-9" POURED CONCRETE FOUNDATION WALL

EXW 1

-BRICK

-I" AIR SPACE

-1/2" DRYWALL

-1/2" DRYWALL

-TYVEK HOUSEWRAP

-7/16" EXT, SHEATHING

-2 x 6 STUDS @ 16" O.C.

-2 x 6 STUDS @ 16" O.C.

*WHERE NO FINISH IS INSTALLED

ON STUDS, PROVIDE BLOCKING

SECURED TO STUDS AT MID-HEIGHT*

-1" R5 RIGID INSULATION



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DRAWING TITLE

GARAGE FOUNDATION PLAN

DRAWING TITLE

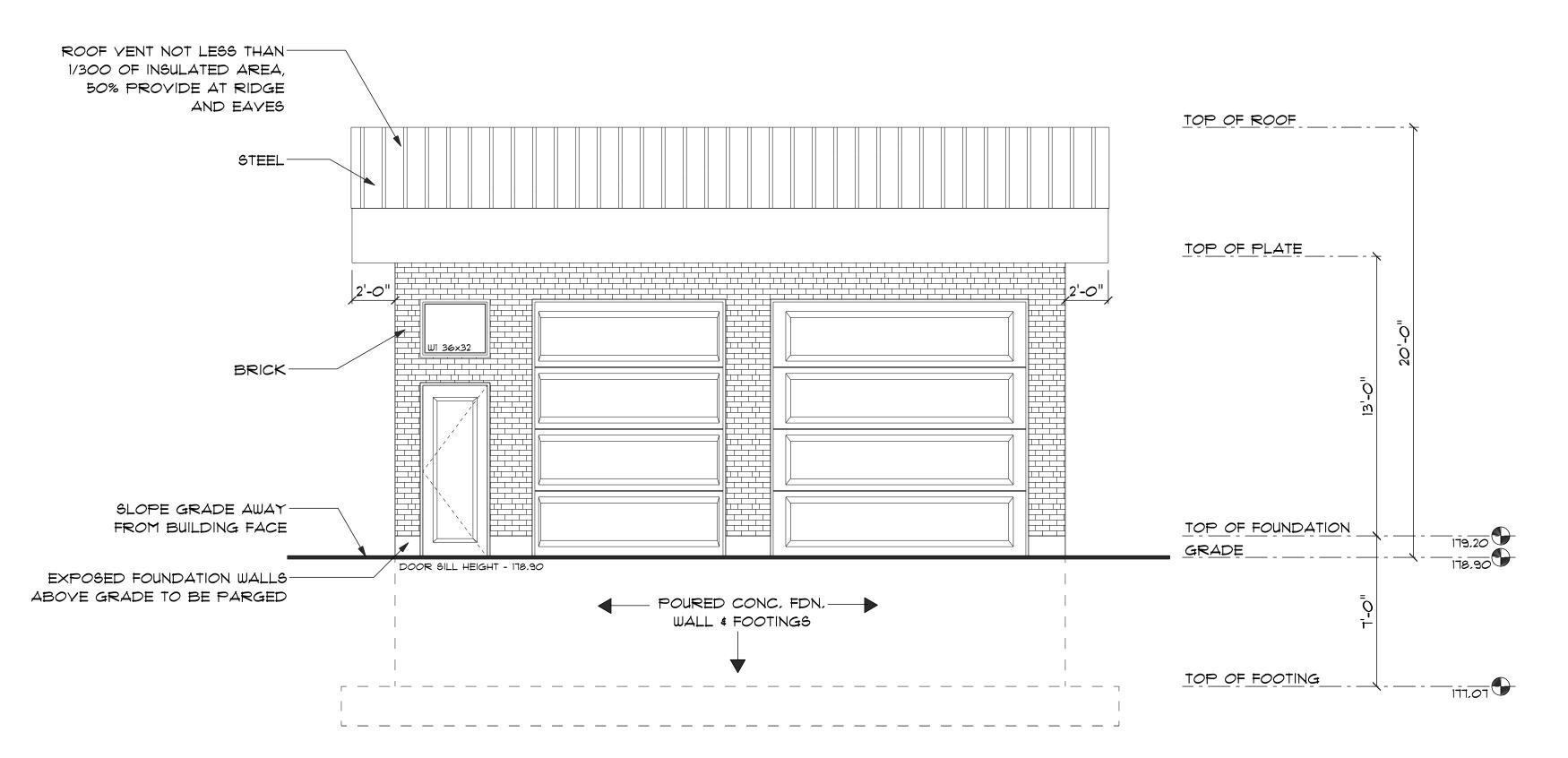
7571 Cornell Trail Port Franks, ON NOM 2L0

PROJECT NUMBER 1598-01-27-24 1/4" = 1'-0" DRAWING NO. SEP 27, 2023 DRAWN BY

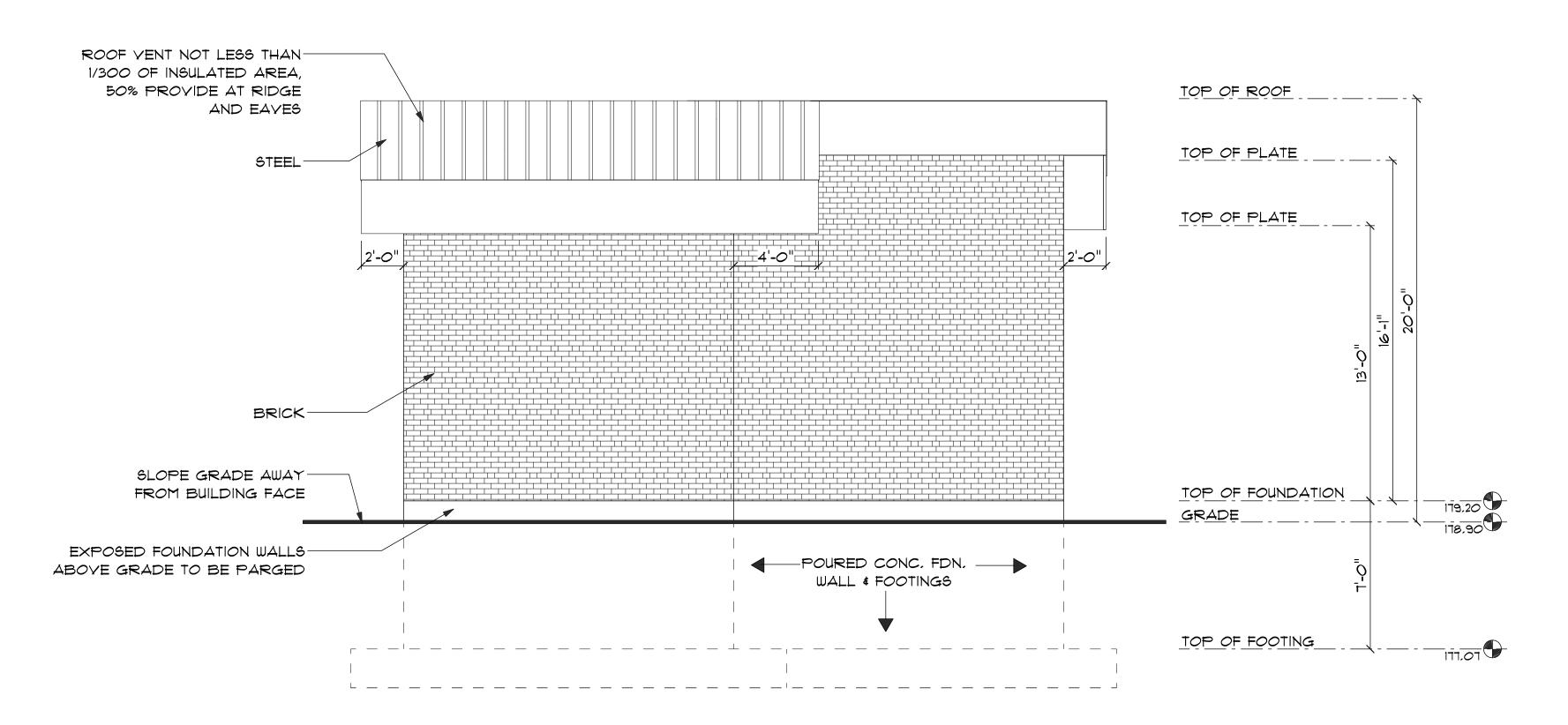
M.O.

39'-2" 25'-1" 14'-1" 15'-11%" 6'-21/2" * PROVIDE A MINIMUM TO"X22" STRIP FOOTINGw. 15M BARS @ 12" o.c. AND (6) 15M CONT FDN 1 BARS SPACED EVENLY RECESS AS REQUIRED 23'-7" FOR O.H. DOORS & MAN DOOR -* PROVIDE A MINIMUM 48"X19" STRIP FOOTING w. 15M BARS @ 12" o.c. AND (4) 15M LONGIȚUDINAL CONTINUOUS BARS SPACED EVENLY UNEXCXVATED Y FON 1 37'-8" FDN 1 RECESS AS REQUIRED FOR O.H. DOORS & MAN DOOR * PROVIDE A MINIMUM 48"X19" STRIP FOOTING: w. 15M BARS @ 12" o.c. AND (4) 15M LONGITUDINAL * PROVIDE A MINIMUM TO"x22" STRIP FOOTINGw. 15M BARS @ 12" o.c. AND (6) 15M CONT. BARS SPACED EVENLY

MAIN FLOOR PLAN - 1001sq.ft



FRONT ELEVATION



BACK ELEVATION



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DRAWING TITLE

FRONT & BACK **ELEVATION**

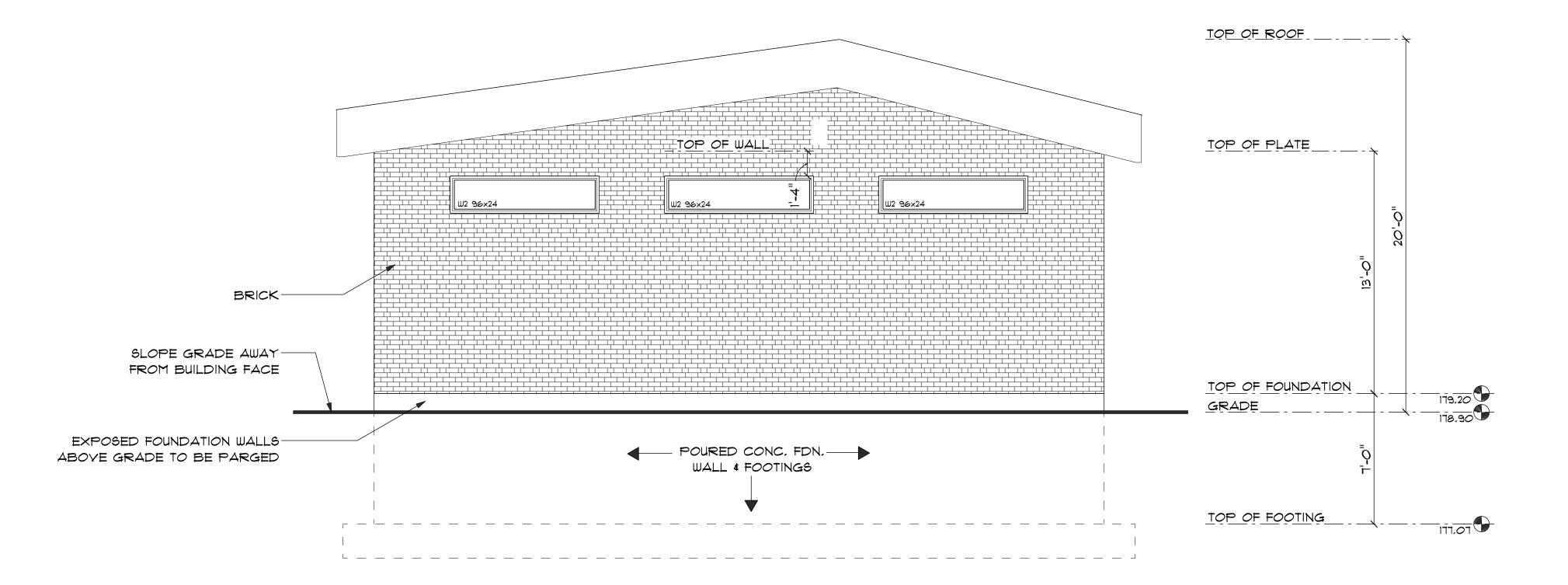
DRAWING TITLE

7571 Cornell Trail Port Franks, ON NOM 2L0

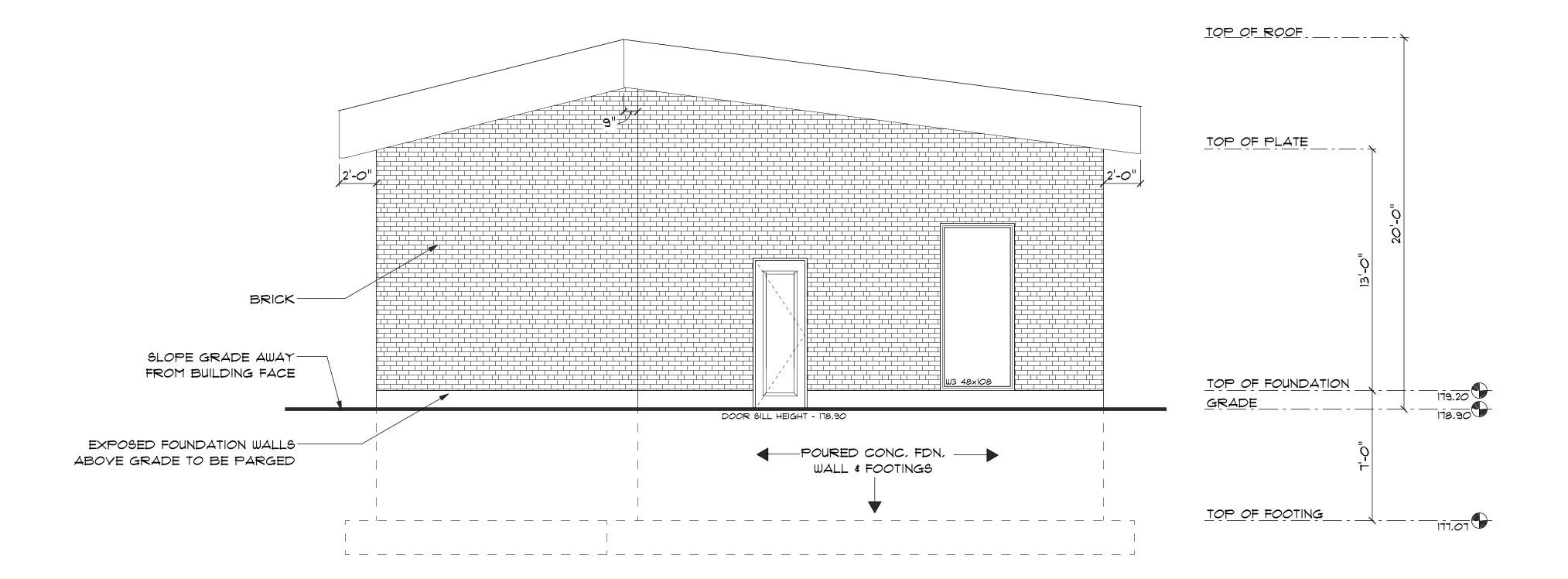
SCALE PROJECT NUMBER 1/4'' = 1'-0''SEP 27, 2023 DRAWN BY

M.O.





RIGHT ELEVATION



LEFT ELEVATION



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1	.0	ISSUE FOR REVIEW	11/07/24
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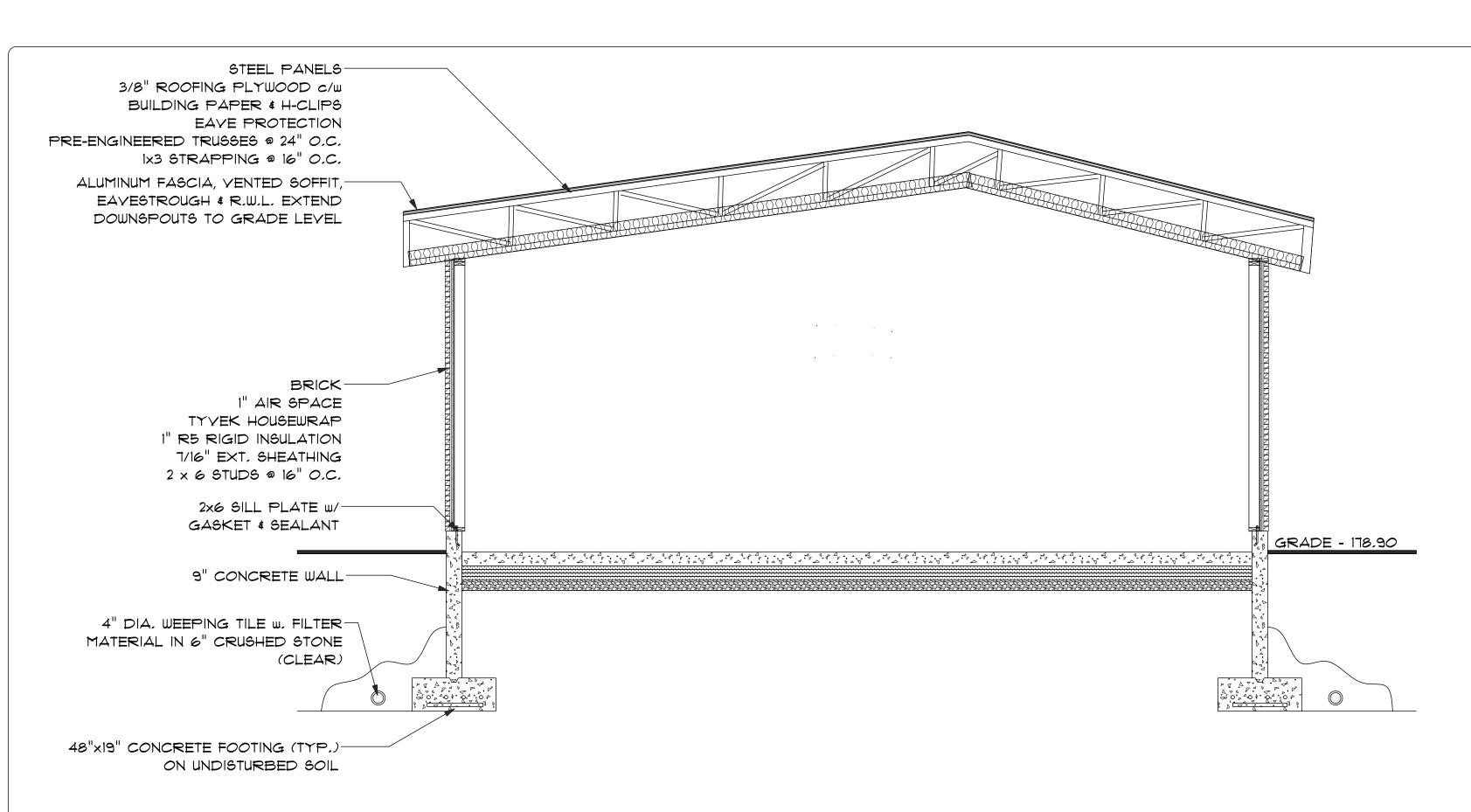
RIGHT & LEFT ELEVATION

DRAWING TITLE

M.O.

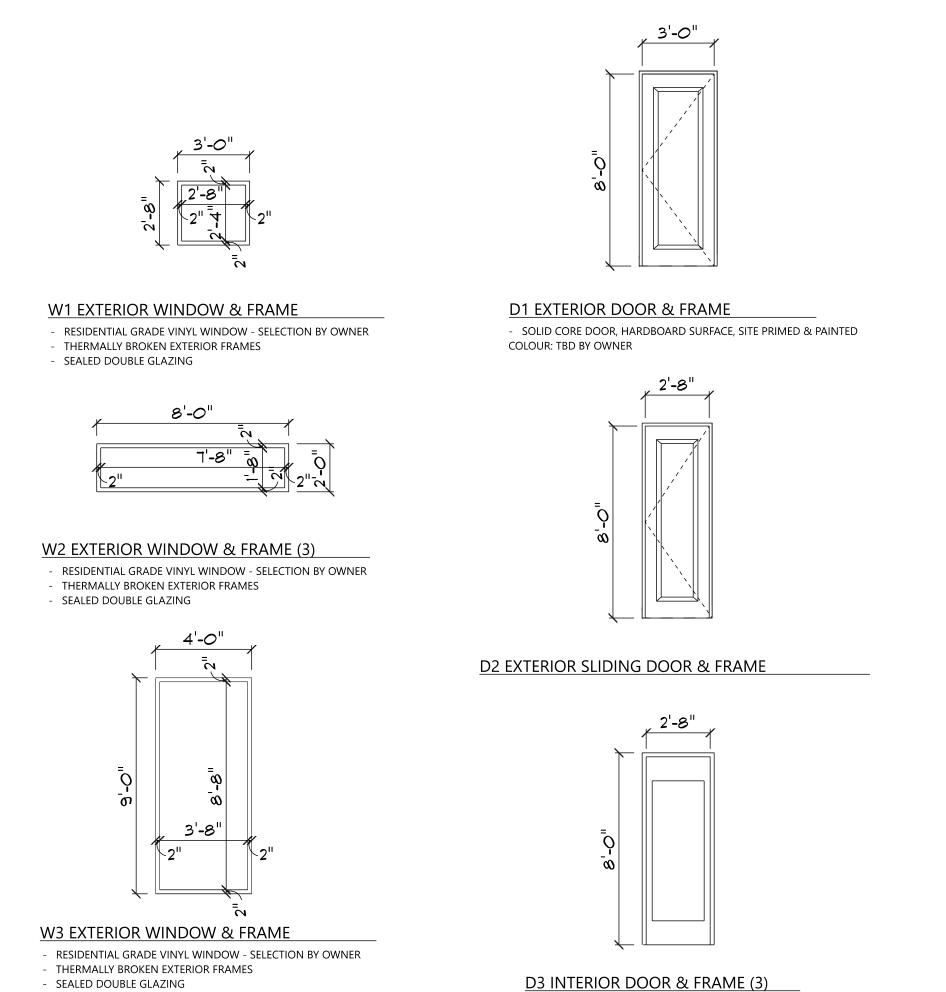
7571 Cornell Trail Port Franks, ON NOM 2L0

SCALE 1/4" = 1'-0"	PROJECT NUMBER 1598-01-27-24	
DATE	DRAWING NO.	
SEP 27, 2023	$ \Lambda_{-1} \Lambda$	
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WALL SECTION A

SEALED DOUBLE GLAZING





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DRAWING TITLE

TYPICAL WALL SECTIONS & DOOR/WINDOW **SCHEDULE**

DRAWING TITLE

7571 Cornell Trail Port Franks, ON NOM 2L0

1/4" = 1'-0"

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