

SEMI-DETACHED DWELLINGS

34 Alberta Street, Grand Bend, ON – NOM 1T0

CONSTRUCTION SYMBOLS LEGEND

WATER METER	
HOT WATER TANK	
TANKLESS WATER HEATER	
SUMP PIT	
WATER SOFTENER	
FLOOR DRAIN	
HOSE BIB	
EXHAUST FAN	
RADIATOR	
SUPPLY AIR VENT	
RETURN AIR VENT	
RETURN AIR RISER	
SOIL VENT PIPE	
ELECTRICAL PANEL	
THERMOSTAT	
SMOKE ALARM (INTERCONNECTED)	
SMOKE ALARM (STAND ALONE)	
SMOKE ALARM (BATTERY OPERATED)	
CARBON MONOXIDE ALARM	
HYDRO METER	
GAS METER	
AIR CONDITIONER	
WOOD POST ASSEMBLY	
SOLID WOOD POST	
H.S.S. COLUMN	
STEEL POST	
STEEL PLATE	
DOOR MARKER	
DATUM MARKER	
FINISH MATERIAL MARKER	
WINDOW MARKER	
SOLAR LIGHT	

DRAWING INDEX:

A0.01 – TITLE PAGE
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A1.01 – BASEMENT FLOOR PLAN
A1.02 – MAIN FLOOR PLAN
A1.03 – SECOND FLOOR PLAN
A2.01 – WEST ELEVATION
A2.02 – SOUTH ELEVATION
A2.03 – NORTH ELEVATION
A2.04 – EAST ELEVATION
A3.01 – SECTION & DETAILS
A3.02 – SECTION & DETAILS
A4.01 – SECTION & DETAILS
A4.02 – SECTION & DETAILS
S0.01 – SITE PLAN

BUILDING STATISTICS

EASTERLY LOT
MAIN FLOOR: 1,277 FT²
MAIN FLOOR (NOT INCLUDING GARAGE): 856 FT²
SECOND FLOOR: 1,163 FT²
SECOND FLOOR BALCONY: 243 FT²

WESTERLY LOT
MAIN FLOOR: 1,326 FT²
MAIN FLOOR (NOT INCLUDING GARAGE): 909 FT²
SECOND FLOOR: 1,094 FT²
SECOND FLOOR BALCONY: 230 FT²

ANNOTATION LEGEND

BOUNDARY LINE	
BUILDING BREAKLINE	
ROOF LINE	
STRUCTURAL MEMBER C	
2x4 INTERIOR WALL	
2x6 INTERIOR WALL	
WALL TO BE REMOVED	
BULKHEAD/CEILING LINE	
BUILDING SECTION MARKER	
BUILDING DETAIL MARKER	
INTERIOR ELEVATION MARKER	
WALL ASSEMBLY MARKER	

ABOVE GROUND ELECTRICAL CONDUCTORS

3.1.19.1. Clearance to Buildings

(1) Where a building is to be constructed in proximity to existing above ground electrical conductors of a voltage not less than 2.5 kV and not more than 45 kV,
(a) the building shall not be located beneath the conductors, and
(b) the horizontal clearance between the building and the maximum conductor swing shall be not less than 3 m.

(2) Where a building is to be constructed in proximity to existing above ground electrical conductors of a voltage more than 46 kV, the clearances between the building and the conductors shall conform to the requirements of CAN/CSA-C22.3 No 1, "Overhead Systems".

ALL ELECTRICAL WIRING MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS (PERMITS) MUST BE FILED. FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
CUSTOMER SERVICE CENTRE

PHONE 1-877-372-7233
FAX 1-800-667-4278
www.esasafe.com

MUNICIPALITY OF LAMBTON SHORES

DEPARTMENT	DATE	SIGNATURE
BUILDING	Nov 5/24	
FIRE		
PLANNING		
PLUMBING		

ABBREVIATION LEGEND

⊙	AT
A.F.F.	ABOVE FINISHED FLOOR
B.B.O.	BEAM BY OTHERS
BOT.	BOTTOM
CL.	CLOSET
COL.	CONCRETE
CONC.	COLUMN
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
EA.	EACH
EQ.	EQUAL
FDN.	FOUNDATION
FT.	FEET
F.F.L.	FINISHED FLOOR LEVEL
FLR.	FLOOR
FTG.	FOOTING
FURN.	FURNACE
H.B.	HOSE BIB
HRV	HEAT RECOVERY UNIT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
H.S.S.	HOLLOW STRUCTURAL SECTION
JST.	JOIST
MAX.	MAXIMUM
MIN.	MINIMUM
MIL.	.001 INCH
No./#	NUMBER
O.B.C.	ONTARIO BUILDING CODE (LATEST EDITION)
O.C.	ON CENTER
POLY.	POLYTHENE
P.T.	PRESSURE TREATED
REQ'D.	REQUIRED
T/O	TOP OF
TYP.	TYPICAL
U/S	UNDERSIDE
w/	WITH
W.I.C.	WALK IN CLOSET
∠	STEEL ANGLE

GENERAL NOTES:

ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE 2012 ONTARIO BUILDING CODE, LATEST EDITION.

INSTALLATION OF BUILDING SERVICES ARE TO BE COORDINATED WITH UTILITY PROVIDERS AND AUTHORITIES HAVING JURISDICTION.

GENERAL CONTRACTOR AND ALL SUB-TRADES ARE TO VERIFY DIMENSIONS, DETAILS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

CONTRACTOR TO CONFIRM REQUIRED DIMENSIONS PRIOR TO ORDERING ALL PREFABRICATED MATERIALS AND BUILDING COMPONENTS.

ALL PRODUCTS ARE TO BE INSTALLED OR APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND IN CONFORMANCE WITH THE 2012 BUILDING CODE, LATEST EDITION.

WHERE ANY MATERIAL OR PRODUCT IS TO BE SUBSTITUTED THE DESIGNER IS TO BE NOTIFIED PRIOR TO IMPLEMENTING ANY CHANGE.

EXISTING CONDITIONS:

GENERAL CONTRACTOR AND ALL SUB-TRADES ARE TO VERIFY DIMENSIONS, DETAILS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

CONFIRM WITH OWNER PRIOR TO DISPOSAL OF ALL EXISTING MATERIALS

THE PROPOSED SCOPE OF WORK DOES NOT INVOLVE CHANGES TO THE EXISTING STRUCTURE UNLESS NOTED ON THESE DRAWINGS. WHERE SITE CONDITIONS REQUIRE SUCH CHANGES THE DESIGNER MUST BE INFORMED PRIOR TO ANY STRUCTURAL ALTERATION WORK.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSESS EXISTING STRUCTURAL CONDITIONS THROUGHOUT THE BUILDING. WHERE THERE IS A DISCREPANCY BETWEEN THESE DRAWINGS AND ACTUAL EXISTING CONDITIONS THE CONTRACTOR SHALL REPORT THE DISCREPANCY TO THE DESIGNER PRIOR TO COMMENCING ANY STRUCTURAL WORK.

THE DESIGNER DOES NOT WARRANT THE ACCURACY OF THE EXISTING BUILDING CONDITIONS, DIMENSIONS OR MATERIALS REPRESENTED ON THESE DRAWINGS. DRAWINGS SHOWING EXISTING CONDITIONS ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXTENTS OF DEMOLITION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO PROCEEDING WITH WORK.

ALL DIMENSIONS ARE ± AND SHALL BE VERIFIED ON SITE BY THE CONTRACTOR AND/OR SUBCONTRACTORS PRIOR TO ORDERING MATERIALS AND PROCEEDING WITH WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER.

PERMITS:

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED OR DEMOLISHED UNLESS A PERMIT FOR THE WORK HAS BEEN ISSUED BY THE CHIEF BUILDING OFFICIAL.

AT EACH STAGE OF CONSTRUCTION THE CONSTRUCTOR OR OTHER APPOINTED PERSON SHALL NOTIFY THE CHIEF BUILDING OFFICIAL, IF APPLICABLE TO THE PROJECT (REFER TO OBC DIVISION C, SECTION 1.3.5.1), AND AS REQUIRED IN THE APPROVED PERMIT DOCUMENTS, ISSUED BY THE LOCAL MUNICIPAL BUILDING DEPARTMENT.

ELECTRICAL INSTALLATION, REPAIR AND REPLACEMENT WORK SHALL BE DONE IN COMPLIANCE WITH THE ONTARIO ELECTRICAL SAFETY CODE. IT IS THE CONSTRUCTOR'S RESPONSIBILITY TO OBTAIN ALL/ANY PERMIT UNDER THE ELECTRICAL SAFETY AUTHORITY (ESA).

IF ADVERSELY AFFECTED, HVAC SYSTEMS SHALL BE ASSESSED AND CLEANED BY A QUALIFIED PERSON IN ACCORDANCE WITH INDUSTRY STANDARDS FOR THE ASSESSMENT. SHOULD PARTIAL, SUBSTANTIAL OR COMPLETE REMOVAL AND REPLACEMENT BE DEEMED REQUIRED, THE LOCAL MUNICIPAL BUILDING DEPARTMENT MAY REQUIRE A BUILDING PERMIT FOR REPAIR.

ANY TREE(S) THAT FALL WITHIN THE CONSTRUCTION AREA, SHALL BE PROTECTED IN CONFORMANCE WITH THE APPLICABLE REGULATIONS OR BY-LAWS, AS GOVERNED BY THE MUNICIPALITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUISITE PERMITS. PRIOR TO ACCESSING A TREE PROTECTION ZONE, DAMAGING OR REMOVING A TREE(S), THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS.

DRAWINGS:

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THESE DRAWINGS ARE NOT TO BE SCALED TO DETERMINE DIMENSIONS FOR DESIGN OR CONSTRUCTION.

THE DESIGNER DOES NOT TAKE RESPONSIBILITY FOR ANY PASSED OR PRESENT WORK CARRIED OUT IN THE ABSENCE OF A BUILDING PERMIT ISSUED BY THE LOCAL BUILDING AUTHORITY.

BOSK - DESIGN

567 Sugarbush Dr.
Waterloo ON N2K 1Z9
519-913-2095
rick.obrien@rogers.com

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2012 Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Richard O'Brien BCIN# 33524

REGISTRATION INFORMATION

Bosk Design Inc. BCIN# 123363

No.	DATE	REVISION
1		
2		
3		

Client
Home Owner

Project Name

Semi-Detached
Custom Homes

34 Alberta St.
Grand Bend, ON

Drawing Title

Title Page

DATE: 01/09/2024
SCALE: AS NOTED
DRAWN: R.O.
REVIEWED: R.O.
FILE No:
PROJECT No:

A0.01

CONSTRUCTION NOTES:

CONTRACTOR TO CONFIRM DIMENSIONS PRIOR TO ORDERING ALL PREFABRICATED MATERIALS AND BUILDING COMPONENTS.

PROVIDE LIGHTING AND ELECTRICAL OUTLETS AS PER ELECTRICAL CODE. CONFIRM QUANTITY AND LOCATION W/ OWNER.

ALL ELECTRICAL WORK TO CONFORM TO O.B.C. SECTION 9.34.

ALL STAIRS , GUARDRAILS AND HANDRAILS ARE TO CONFORM WITH O.B.C. SECTION 9.8.2., 9.8.3., 9.8.8. & SB-7 OF THE SUPPLEMENTARY GUIDELINES.

ALL OTHER STAIR AND HANDRAIL COMPONENTS ARE TO BE DESIGNED BY A P.ENG.

PROVIDE SOLID BLOCKING BETWEEN COLUMNS/POSTS BETWEEN FLOORS.

FOLLOW FLOOR JOIST MANUFACTURER’S SPECIFICATIONS FOR INSTALLING FLOOR SYSTEM AND BLOCKING BETWEEN JOISTS WHERE ENGINEERED PRODUCTS ARE USED.

COLUMNS/POSTS SHALL BE CENTRED OVER COLUMNS/POSTS BELOW OR OVER SUITABLE BEARING AS DESIGNED.

ALL WOOD COLUMNS AND WALLS SHALL BE SEPARATED FROM CONCRETE IN CONTACT WITH THE GROUND BY 0.05mm POLYETHYLENE.

PROVIDE MINIMUM 3½” BEARING FOR BEAMS UNLESS OTHERWISE NOTED IN DRAWINGS OR ENGINEER’S DESIGN.

PROVIDE 1½” BEARING FOR WOOD LINTELS UNLESS OTHERWISE NOTED IN DRAWINGS OR ENGINEER’S DESIGN.

PROVIDE 3” BEARING FOR WOOD LINTELS SPANNING MORE THAN 10’-0” UNLESS OTHERWISE NOTED IN DRAWINGS OR ENGINEER’S DESIGN.

PROVIDE AN ADDITIONAL FLOOR JOIST OR SOLID BLOCKING BENEATH ALL WOOD FRAMED WALLS (FOLLOW FLOOR SYSTEM MANUFACTURER’S SPECIFICATIONS).

PROVIDE (1) KING + (1) JACK STUD @ EACH SIDE OF LINTELS UNLESS NOTED OTHERWISE ON DRAWINGS OR FLOOR AND ROOF JOIST MANUFACTURER’S DESIGN.

TOP PLATES OF STUD WALLS SHALL BE DOUBLED AND LAPPED.

FOLLOW MANUFACTURER’S SPECIFICATION FOR HOLES IN FRAMING MEMBERS. ENGINEERED FRAMING MEMBERS ARE NOT TO BE CUT OR NOTCHED UNLESS PERMITTED BY THE MANUFACTURER.

PROVIDE SOLID WOOD BLOCKING IN WALLS TO ALLOW FOR ATTACHMENT OF FINISHES AND FIXTURES – HANDRAILS, RAILINGS, FUTURE GRAB-BARS, ETC...

WOOD POSTS IN WALL ASSEMBLIES ARE TO BE FASTENED TO SHEATHING AND DRYWALL WHERE SHEATHING AND DRYWALL ARE SPECIFIED IN WALL ASSEMBLIES.

CLADDING MATERIAL & COLOUR SHALL BE CONFIRMED WITH THE OWNER PRIOR TO ORDERING & INSTALLING.

PROVIDE PRE-FINISHED 5” VERT. METAL FLASHING ABOVE ALL NEW DOORS & WINDOWS.

ALL ROOF VALLEYS SHALL BE PROVIDED WITH ICE/WATER SHIELD TO EXTEND MINIMUM 18” EACH WAY & METAL FLASHING TO EXTEND MINIMUM 12” EACH WAY.

DRAIN WATER HEAT RECOVERY UNIT SHALL CONFORM TO "CSA B55.2, DRAIN WATER HEAT RECOVERY UNITS". THE MINIMUM EFFICIENCY FOR THE DRAIN WATER HEAT RECOVERY UNIT SHALL BE 42%.

DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED IN AN UPRIGHT POSITION WITH THE COLD WATER INLET AT THE BOTTOM OF THE UNIT. INSTALL DOWNSTREAM OF WATER SOFTENER.

R10 INSULATION TO BE BE PROVIDED BEHIND THE ELECTRICAL PANEL.

GARAGE CEILING & WALLS (INCLUDING MAN-DOOR)ADJACENT TO LIVING AREA SHALL BE GAS PROOF (TYP.)

AIR & VAPOUR BARRIERS SHALL BE LAPPED 4” & TAPED @ JOINTS.

PENETRATIONS OF THE AIR-BARRIER OR VAPOUR BARRIER, SUCH AS THOSE CREATED BY THE INSTALLATION OF DOORS, WINDOWS, ELECTRICAL FIXTURES, PIPING, ETC... SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE MEMBRANE.

ELECTRICAL BOXES TO BE SEALED ON ALL SIDES.

PROVIDE A NON-COMBUSTIBLE AIR BARRIER @ FIREPLACE GAS VENT PENETRATION.

ALL OPENINGS THROUGH EXTERIOR WALLS FOR VENTILATION SHALL BE COVERED WITH RUST-PROOF SCREENING EXCEPT FOR DRYER EXHAUST VENT. PROVIDE BACK-DRAFT COVER FOR DRYER VENT.

ACCESS TO ATTICS SHALL BE A MINIMUM OF 22” x 28” & FITTED WITH A PLYWOOD COVER. ATTIC HATCH TO BE INSULATED TO R31 AND WEATHER-STRIPPED.

STEEL:

ALL STRUCTURAL STEEL EXPOSED TO EXTERNAL CONDITIONS SHALL BE COATED WITH A RUST INHIBITING PAINT

ALL STRUCTURAL STEEL MATERIAL SHALL MEET OR EXCEED THE REQUIREMENTS OF GRADE 350W IN CAN/CSA G40.21.

CAP AND BASE PLATES ARE PERMITTED TO BE GRADE 300W IN CAN/CSA G40.21.

WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND SHALL CONFORM TO ALL APPLICABLE STANDARDS.

BOLTS USED IN BOLTED CONNECTIONS SHALL BE ASTM A325 STANDARD OR BETTER

ALL STEEL BEAMS MUST BE SHOP PRIMED IN ACCORDANCE WITH THE REQUIREMENTS IN CAN/CSA S16.1.

2 LB. POLYURETHANE CLOSED CELL SPRAYFOAM INSULATION MAY BE USED IN LIEU OF VAPOUR BARRIERS. AT TIE-IN POINTS VAPOUR BARRIERS ARE TO BE EMBEDDED IN SPRAYFOAM NEAR THE INSIDE FACE OF THE ASSEMBLY AND ARE TO MAKE A CONTINUOUS BARRIER AGAINST MOISTURE.

ALL SPRAYFOAM INSULATION SHALL BE 2LB. POLYURETHANE CLOSED CELL INSULATION w/ MINIMUM R-VALUE OF R6 PER INCH. LOW EXPANSION FOAM MUST BE USED AT ALL DOOR AND WINDOW ROUGH OPENINGS.

ALL SPRAYFOAM INSULATION SHALL BE INSTALLED IN LAYERS TO ALLOW FOR EACH LAYER TO FULLY CURE BEFORE APPLYING CONSECUTIVE LAYERS (CONSULT WITH MANUFACTURER/LICENSED INSTALLER).

FOR FLOORS WITH CERAMIC TILE PROVIDE 2”X2” BLOCKING BENEATH SUB-FLOOR TO SUPPORT ALL EDGES. PROVIDE ADDITIONAL ¾” SUBFLOOR OVER ¾” T&G SUBFLOOR. PROVIDE SCHLUTER DITRA BETWEEN TILE BED & SUB-FLOOR.

PROVIDE CERAMIC TILE OVER MASONRY BOARD AND SCHLUTER KERDI SYSTEM TO MIN. 16” ABOVE TUB FOR TUBS W/O SHOWERS.

PROVIDE CERAMIC TILE OVER MASONRY BOARD AND SCHLUTER KERDI SYSTEM TO MIN. 6”-0” ABOVE SHOWER BASE.

PROVIDE WATER RESISTANT DRYWALL IN BATHROOM AND LAUNDRY AREAS.

FOLLOW MANUFACTURER’S SPECIFICATIONS FOR APPLYING ALL PRODUCTS (INCLUDING BUT NOT LIMITED PAINTS, SEALANTS, ADHESIVES, GROUTS, FIXTURES, ETC...)

CLADDING MATERIAL & COLOUR SHALL BE CONFIRMED WITH THE GENERAL CONTRACTOR PRIOR TO ORDERING & INSTALLING.

FOUNDATION NOTES:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY SOIL CONDITIONS PRIOR TO CONSTRUCTION AND CONFIRM THAT THE SOIL IS CAPABLE OF MEETING STRUCTURAL REQUIREMENTS.

CONTRACTOR TO DETERMINE ELEVATION OF WATER TABLE. CONTRACTOR TO REPORT ELEVATION OF WATER TABLE IF WITHIN 30" OF THE BOTTOM OF THE NEW FOOTING.

CONTRACTOR TO DETERMINE STRENGTH OF SOIL. ALL FOOTINGS MUST BEAR OVER UNDISTURBED SOIL CAPABLE OF SUPPORTING 75KPa TO A DEPTH OF 30" BELOW THE BOTTOM OF THE NEW FOOTINGS.

ALL CONCRETE IS TO BE POURED OVER UNDISTURBED SOIL w/ MINIMUM 12" TOP SOIL REMOVED.

UNREINFORCED CONCRETE SHALL BE DESIGNED, MIXED, PLACED, CURED AND TESTED IN ACCORDANCE WITH CAN/CSA-A438, CONCRETE CONSTRUCTION FOR HOUSING AND SMALL BUILDINGS .

STEEL REINFORCING SHALL CONFORM TO CAN/CSA-G30.18-M, "BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT."

REBAR TO HAVE A 400MPa YIELD STRENGTH.

ALL PARGING FOR CONCRETE WALLS SHALL BE TYPE 'S'. MINIMUM ¼” THICK.

ALL NEW CONCRETE FOOTINGS ARE TO EXTEND TO MINIMUM 4’-0” BELOW FINISHED GRADE.

COLD WEATHER PRECAUTIONS SHALL BE FOLLOWED WHEN AIR TEMPERATURE IS BELOW 5°C.

ALL POURED CONC. SHALL BE 20MPa STRENGTH CONC. OR GREATER UNLESS OTHERWISE NOTED.

THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL BE NOT LESS THAN:

– 32 MPa FOR GARAGE FLOORS, CARPORT FLOORS AND ALL EXTERIOR FLATWORK. (TYPE F-2)

– 20 MPa FOR ALL OTHER APPLICATIONS. (TYPE N) UNLESS NOTED OTHERWISE ON DRAWINGS

CONCRETE USED FOR EXTERIOR FLAT WORK SHALL HAVE AIR ENTRAINMENT OF 5 TO 8%.

Ø½"ANCHOR BOLTS SHALL BE SPACED @ 12” FROM ENDS OF WALLS AND @ 6’-0” O.C. PROVIDE A MINIMUM OF 2 ANCHOR BOLTS PER PLATE.

EMBED ANCHOR BOLTS MINIMUM 5” INTO SOLID CONCRETE.

SLOPE CONC. FLOOR SLAB TO FLOOR DRAIN.

ALL BELOW GROUND LEVEL PENETRATIONS THROUGH THE FOUNDATION WALL SHALL BE SEALED WITH A BITUMINOUS WATERPROOFING COMPOUND

ALL TRENCHES BENEATH FOOTINGS SHALL BE FILLED WITH COMPACTED CRUSHED STONE.

EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY. STRUCTURES, UTILITIES, ETC...

DELTA MS DRAINAGE LAYER SHALL BE INSTALLED AS PER MANUFACTURER’S SPECIFICATIONS.

WOOD:

ALL LUMBER; JOISTS, RAFTERS, TRUSSES AND BEAMS, SHALL BE NEW VISUALLY GRADED OR ENGINEERED LUMBER BEARING MANUFACTURERS STAMP.

MOISTURE CONTENT OF LUMBER SHALL BE NOT MORE THAN 19% AT THE TIME OF INSTALLATION.

ALL LUMBER SHALL BE S-P-F NO. 2 GRADE OR ENGINEERED LUMBER UNLESS OTHERWISE NOTED.

FASTENING OF WOOD FRAME CONSTRUCTION MEMBERS SHALL CONFORM TO O.B.C. SECTION 9.23. AND TABLE 9.23.3.4 UNLESS OTHERWISE NOTED.

NAILS SHALL BE COMMON SPIRAL NAILS, CONFORMING TO CSA B111, "WIRE NAILS, SPIKES AND STAPLES".

WOOD SCREWS SHALL CONFORM TO ANSI/ASME B18.6.1., "WOOD SCREWS (INCH SERIES)".

OSB, WAFERBOARD AND PLYWOOD USED FOR ROOF SHEATHING, WALL SHEATHING AND SUBFLOORING SHALL BE LEGIBLY IDENTIFIED ON THE FACE OF THE MATERIAL INDICATING THE MANUFACTURER OF THE MATERIAL,THE STANDARD TO WHICH IT IS PRODUCED, AND THAT THE MATERIAL IS OF AN EXTERIOR TYPE.

USE ONLY ACQ RATED FASTENER WHEN USING PRESSURE TREATED LUMBER.

MASONRY NOTES:

ALL MASONRY UNITS TO BE USED SHALL BE IN ACCORDANCE w/ O.B.C. 9.20.2.

CEMENTITIOUS MATERIALS AND AGGREGATES FOR MORTAR AND GROUT SHALL COMPLY WITH CAN/CSA-A179, "MORTAR AND GROUT FOR UNIT MASONRY".

ALL MORTAR SHALL BE TYPE 'S'

TIES SHALL BE COMPLETELY EMBEDDED IN MORTAR.

TIES SHALL BE STAGGERED FROM COURSE TO COURSE.

PROVIDE 1/2" MORTAR JOINT BETWEEN WYTHES (MINIMUM MORTAR JOINT WIDTH TO BE 10mm).

OFFSET VERTICAL MORTAR JOINTS BETWEEN COURSES

ALL MASONRY AND MASONRY VENEER IS TO BE SUPPORTED ON CONCRETE OR STEEL.

ALL BRICK & STONE VENEER SHALL BE ANCHORED TO STUD WALLS W/ 1” x 22GA. CORROSION-RESISTANT METAL TIES SPACED @ 24” O.C. HORIZ. & 20” VERT. FOR STUDS @ 24” OR 12” O.C. (OR 16” O.C. HORIZ. & 24” VERT. FOR STUDS @ 16” O.C.)

PROVIDE WEEP HOLES @ 32” O.C. IN STONE VENEER ABOVE WINDOWS AND AT FOUNDATION.

PROVIDE WEEP HOLES @ 24” O.C. ABOVE OPENINGS IN BRICK VENEER.

PROVIDE 6” BEARING @ EACH END OF STEEL LINTELS UNLESS NOTED OTHERWISE.

SMOKE ALARMS:

SMOKE ALARMS ARE TO CONFORM TO CAN/ULC-S531, "Smoke Alarms"

SMOKE ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3. (LIGHT, COLOR AND PULSE CHARACTERISTICS) OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE".

THE VISUAL SIGNALLING COMPONENT REQUIRED NEED NOT BE INTEGRATED WITH THE SMOKE ALARM PROVIDED:

IT IS INTERCONNECTED TO IT,
BE ON BATTERY BACKUP, OR
HAVE SYNCHRONIZED FLASH RATES

THE LUMINOUS INTENSITY FOR VISUAL SIGNALLING COMPONENTS THAT ARE INSTALLED IN SLEEPING ROOMS SHALL BE A MINIMUM OF 175 CD.

SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING.

THE SOUND PATTERNS OF SMOKE ALARMS SHALL, MEET THE TEMPORAL PATTERNS OF ALARM SIGNALS, OR BE A COMBINATION OF TEMPORAL PATTERN AND VOICE RELAY.

SMOKE ALARMS SHALL:

BE INSTALLED WITH PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, HAVE NO DISCONNECT SWITCH BETWEEN THE OVER-CURRENT DEVICE AND THE SMOKE ALARM, AND IN CASE THE REGULAR POWER SUPPLY TO THE SMOKE ALARM IS INTERRUPTED, BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM.

SMOKE ALARMS SHALL BE WIRED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING TO SOUND.

A MANUALLY OPERATED DEVICE SHALL BE INCORPORATED WITHIN THE CIRCUITRY OF A SMOKE ALARM INSTALLED IN A HOUSE OR AN INDIVIDUAL DWELLING UNIT SO THAT THE SIGNAL EMITTED BY THE SMOKE ALARM CAN BE SILENCED FOR A PERIOD OF NOT MORE THAN 10 MIN, AFTER WHICH THE SMOKE ALARM WILL RESET AND SOUND AGAIN IF THE LEVEL OF SMOKE IN THE VICINITY IS SUFFICIENT TO REACTUATE IT.

WHERE INSTRUCTIONS ARE NECESSARY TO DESCRIBE THE MAINTENANCE AND CARE REQUIRED FOR SMOKE ALARMS TO ENSURE CONTINUING SATISFACTORY PERFORMANCE, THEY SHALL BE POSTED IN A LOCATION WHERE THEY WILL BE READILY AVAILABLE TO THE OCCUPANTS FOR REFERENCE.

Drain Water Heat Recovery
a drain water heat recovery unit shall be installed in each dwelling unit to receive drain water from all showers or from at least two showers where there are two or more showers in the dwelling unit.

Drain water heat recovery units shall conform to CSA B55.2, "Drain Water Heat Recovery Units".
The minimum efficiency of a drain water heat recovery unit shall be determined in conformance with CSA B55.1, "Test Method for Measuring Efficiency and Pressure Loss of Drain Water Heat Recovery Units".
The efficiency of a drain water heat recovery unit, when tested in accordance with Sentence (4), shall be not less than 42%.
A drain water heat recovery unit shall be installed in an upright position that does not diverge more than 5 degrees from the vertical, in a position such that the cold water inlet connection is at the bottom of the unit, downstream of a water softener where a water softener is installed, and in a conditioned space or on the warm side of the dewpoint of the wall assembly.

BOSK - DESIGN

567 Sugarbush Dr.
Waterloo ON N2K 1Z9
519-913-2095
rick.obrien@rogers.com

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the 2012 Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Richard O'Brien - R.O.B. BCIN# 33524

REGISTRATION INFORMATION

Bosk Design Inc. BCIN# 123363

No.	DATE	REVISION
1		
2		
3		

Client
Home Owner

Project Name
Semi-Detached
Custom Homes

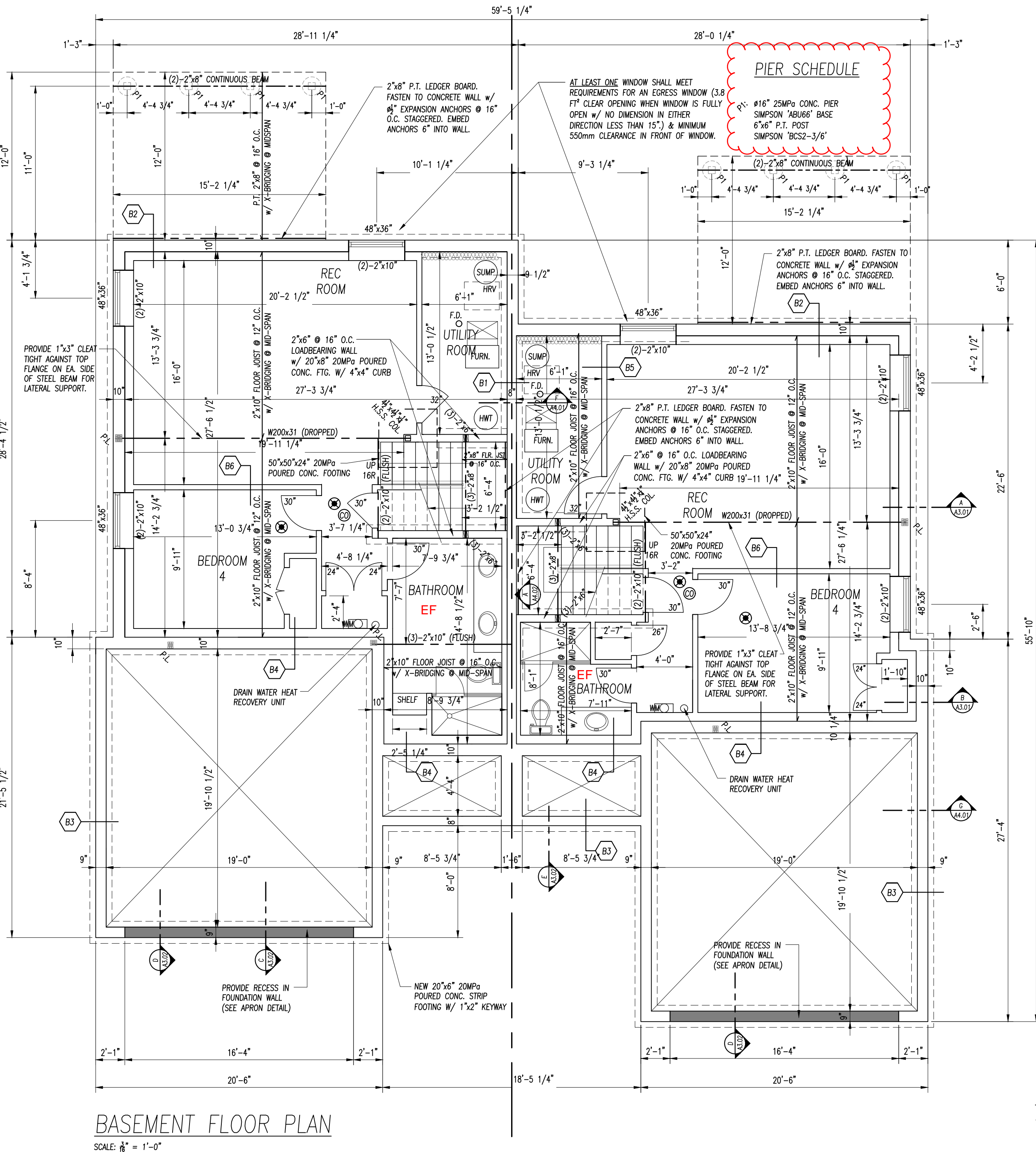
34 Alberta St.
Grand Bend, ON

Drawing Title

Notes

DATE: 01/09/2024
SCALE: AS NOTED
DRAWN: R.O.
REVIEWED: R.O.
FILE No:
PROJECT No:

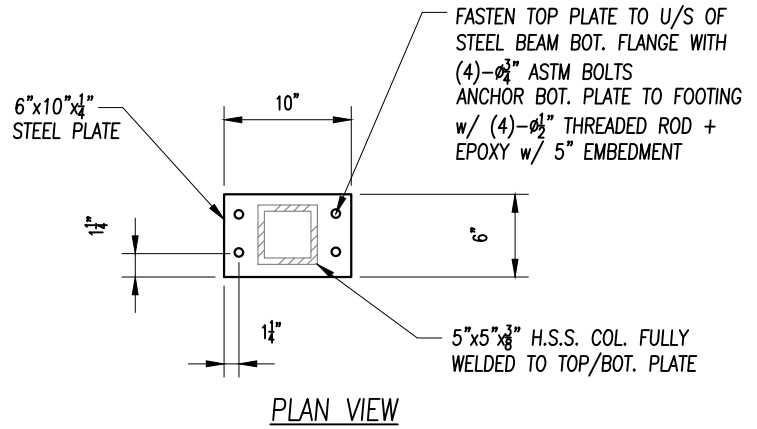
A0.02



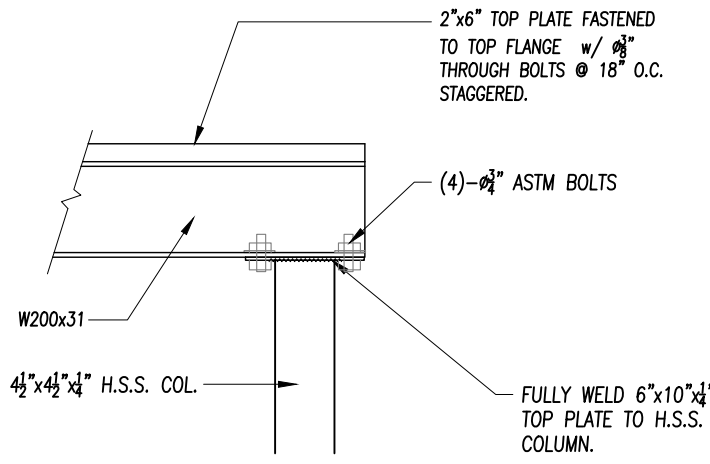
BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL SCHEDULE

- FOUNDATION PARTY WALL
REQUIRED STC: 50 (STC 50 PROVIDED)
REQUIRED F.R.R.: 1HR. (1.5 HR. PROVIDED)
DESIGNATION: SB-3, (B1b)
8" POURED CONC.
- EXTERIOR FOUNDATION WALL
6 MIL. POLY. VAPOUR BARRIER
2"x4" STUDS @ 16" O.C.
w/R12 BATT INSULATION
-SPACE STUDS 3.5" AWAY FROM WALL
R14 ROCKWOOL BATT INSULATION BEHIND STUD WALL
10" POURED CONC.
2 COATS DAMPPROOFING
DELTA MS DRAINAGE LAYER
- EXTERIOR FOUNDATION WALL @ GARAGE OR PORCH
9" POURED CONC.
- INTERIOR FOUNDATION WALL AT GARAGE OR PORCH
6 MIL. POLY. VAPOUR BARRIER
2"x4" STUDS @ 16" O.C.
w/R12 BATT INSULATION
-SPACE STUDS 3.5" AWAY FROM WALL
R14 ROCKWOOL BATT INSULATION BEHIND STUD WALL
10" POURED CONC.
2 COATS DAMPPROOFING
- PARTITION WALL
1/2" DRYWALL
2"x4" STUDS @ 16" O.C.
- PARTITION WALL
1/2" DRYWALL
2"x4" STUDS @ 16" O.C.



H.S.S. COLUMN TOP & BOTTOM PLATE DETAIL
SCALE: 3/4" = 1'-0"



BASEMENT BEAM POST CONNECTION DETAIL
SCALE: 3/4" = 1'-0"

Radon Rough in Required.
A minimum 4" dia. pipe installed
through basement floor slab and must
be capped and clearly labeled.
Air barrier must be sealed - either
utilizing concrete slab or
Min. 6 mil poly required below slab
must be tapped and sealed.

Transfer all loads to
foundation/footings.

BOSK - DESIGN

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Waterloo ON N2K 1Z9
519-913-2095
rick.obrien@rogers.com

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QUALIFICATION INFORMATION	
Richard O'Brien	BCIN# 33524
REGISTRATION INFORMATION	
Bosk Design Inc.	BCIN# 123363

No.	DATE	REVISION
1		
2		
3		

Client
Home Owner

Project Name
Semi-Detached Custom Homes

34 Alberta St.
Grand Bend, ON

Drawing Title

Floor Plans

DATE:	01/09/2024
SCALE:	AS NOTED
DRAWN:	R.O.
REVIEWED:	R.O.
FILE No:	
PROJECT No:	

A1.01

This porch exceeds 6 feet. A saddle or L-bracket is required at the top and bottom for anchorage in accordance with 9.23.6.2.

Provide all stamped engineering documents including stamped truss drawings at framing inspection.

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A1.02

WOOD STAIRCASE
RISERS - 194mm
RUNS - 216mm
NOSINGS - 19mm
MAX. RISER - 200mm
(TBC - ON SITE)

PROVIDE AUTOMATIC
CLOSER & WEATHER
STRIPPING TO MAKE
AIR TIGHT SEAL ON
MAN-DOOR FROM
GARAGE TO INTERIOR.

PROVIDE SOLID BLOCKING
BENEATH ALL POINT
LOADS FROM ABOVE.

UTILITY EQUIPMENT
LOCATIONS TO BE
CONFIRMED ON SITE.

DIMENSIONS FOR FRAMING
MEMBERS ARE TO
CENTERLINE OF MEMBER.

STEEL LINTEL SCHEDULE
L1 - L89x89x6.4mm
L2 - L127x89x7.9mm
L3 - L102x89x7.9mm

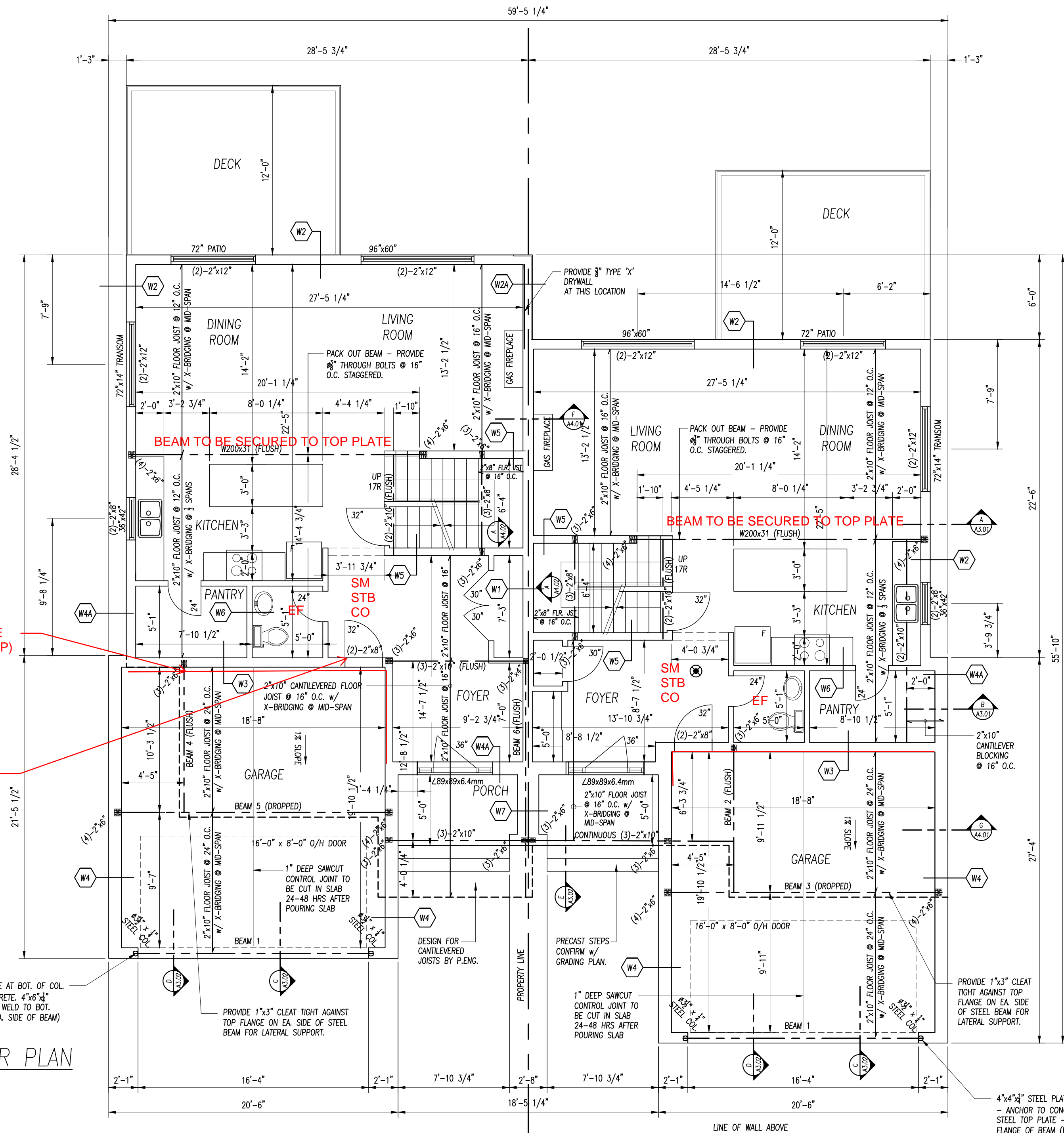
FUME PROOF
BETWEEN HOUSE
AND GARAGE (TYP)

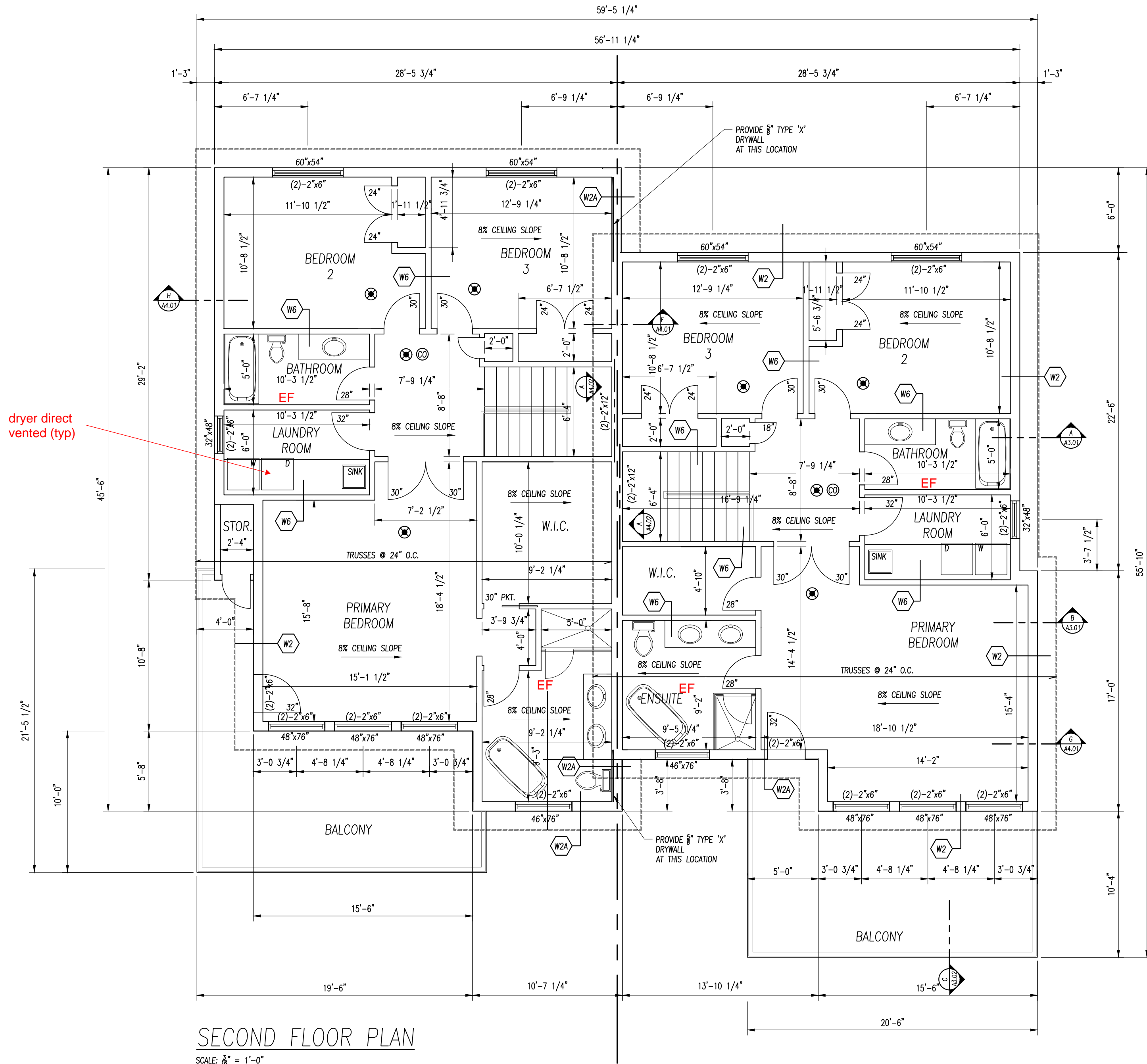
STEEL DOOR WITH
CLOSER AND
WEATHER
STRIPPING (TYP)

4"x4"x1/4" STEEL PLATE AT BOT. OF COL.
- ANCHOR TO CONCRETE. 4"x6"x1/4"
STEEL TOP PLATE - WELD TO BOT.
FLANGE OF BEAM (EA. SIDE OF BEAM)

MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"





SECOND FLOOR PLAN

SCALE: $\frac{3}{16}'' = 1'-0''$

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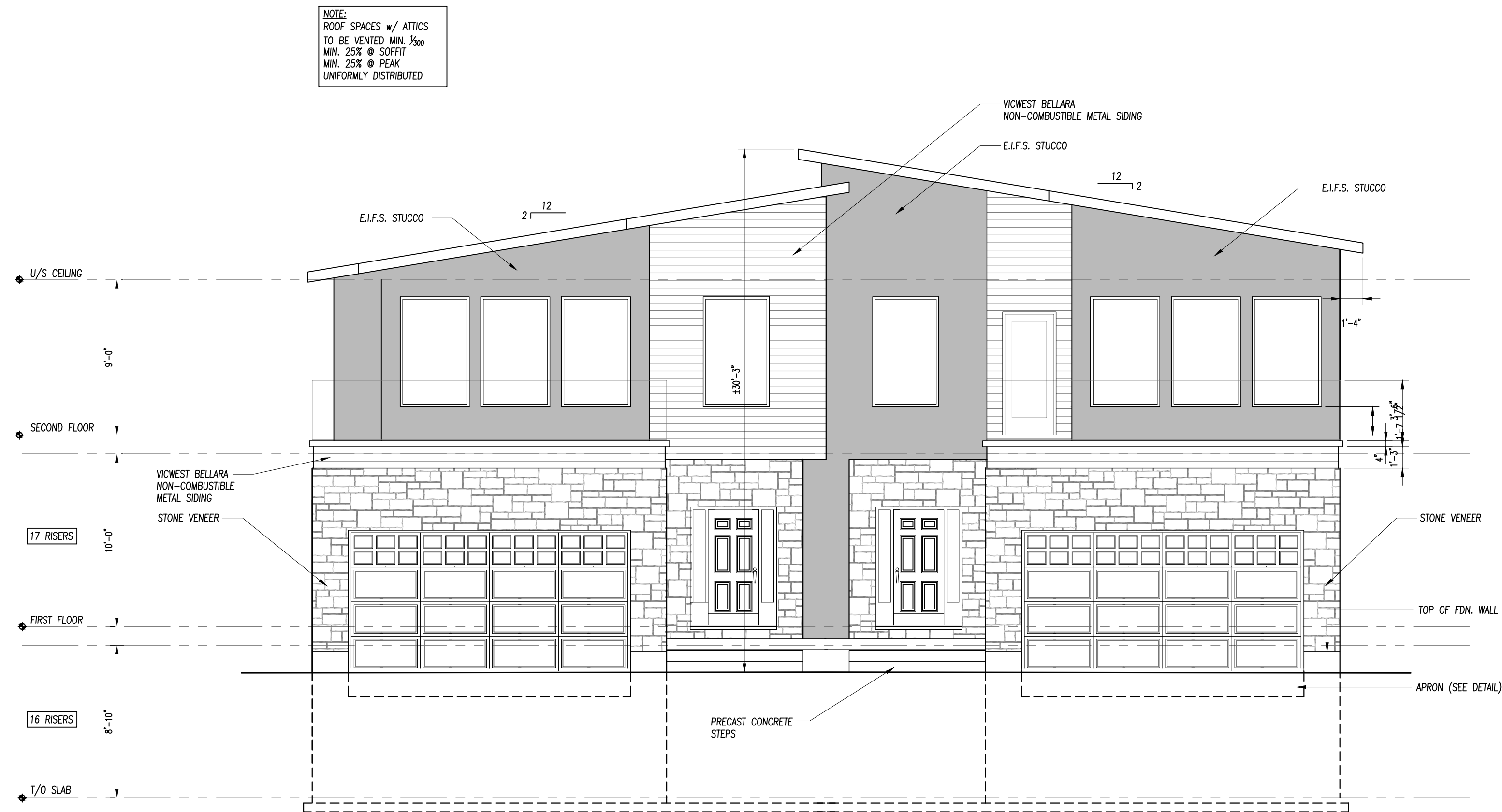
34 Alberta St.
Grand Bend, ON

Drawing Title

Floor Plans

DATE: 01/09/2024
SCALE: AS NOTED
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REVIEWED: R.O.
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A1.03



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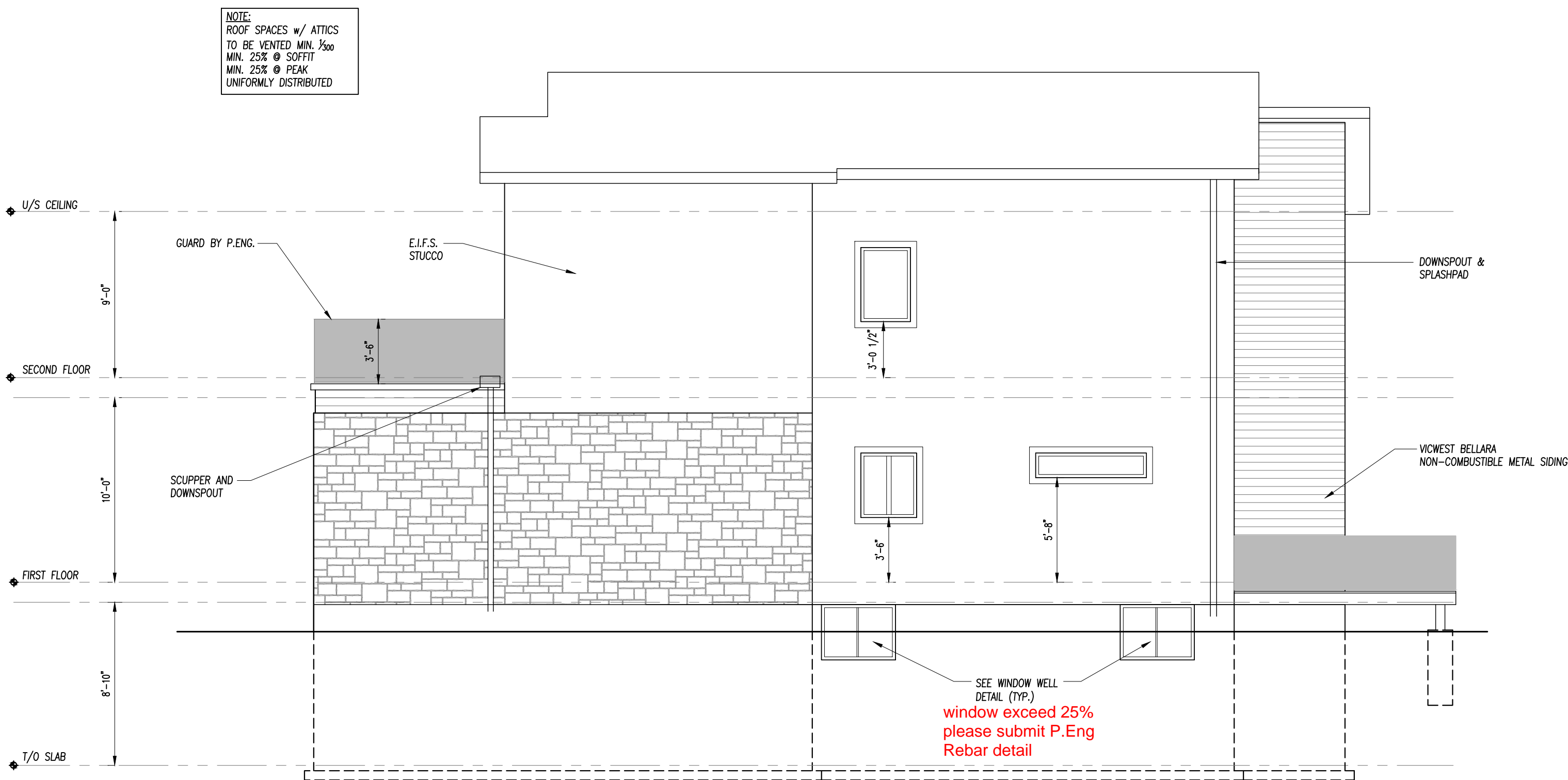
34 Alberta St.
Grand Bend, ON

Drawing Title

Elevations

DATE: 01/09/2024
SCALE: AS NOTED
DRAWN: R.O.
REVIEWED: R.O.
FILE No:
PROJECT No:

A2.01



SOUTH ELEVATION
SCALE: $\frac{3}{16}" = 1'-0"$

EBF = 838 FT² (77.85 M²)
LIMITING DISTANCE - 1.2M
MAX. PERMITTED GLAZING 7% - 58.66 FT² (5.45 M²)
TOTAL AREA OF PROPOSED GLAZING - 53.4 FT²

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Project Name
**Semi-Detached
Custom Homes**

34 Alberta St.
Grand Bend, ON

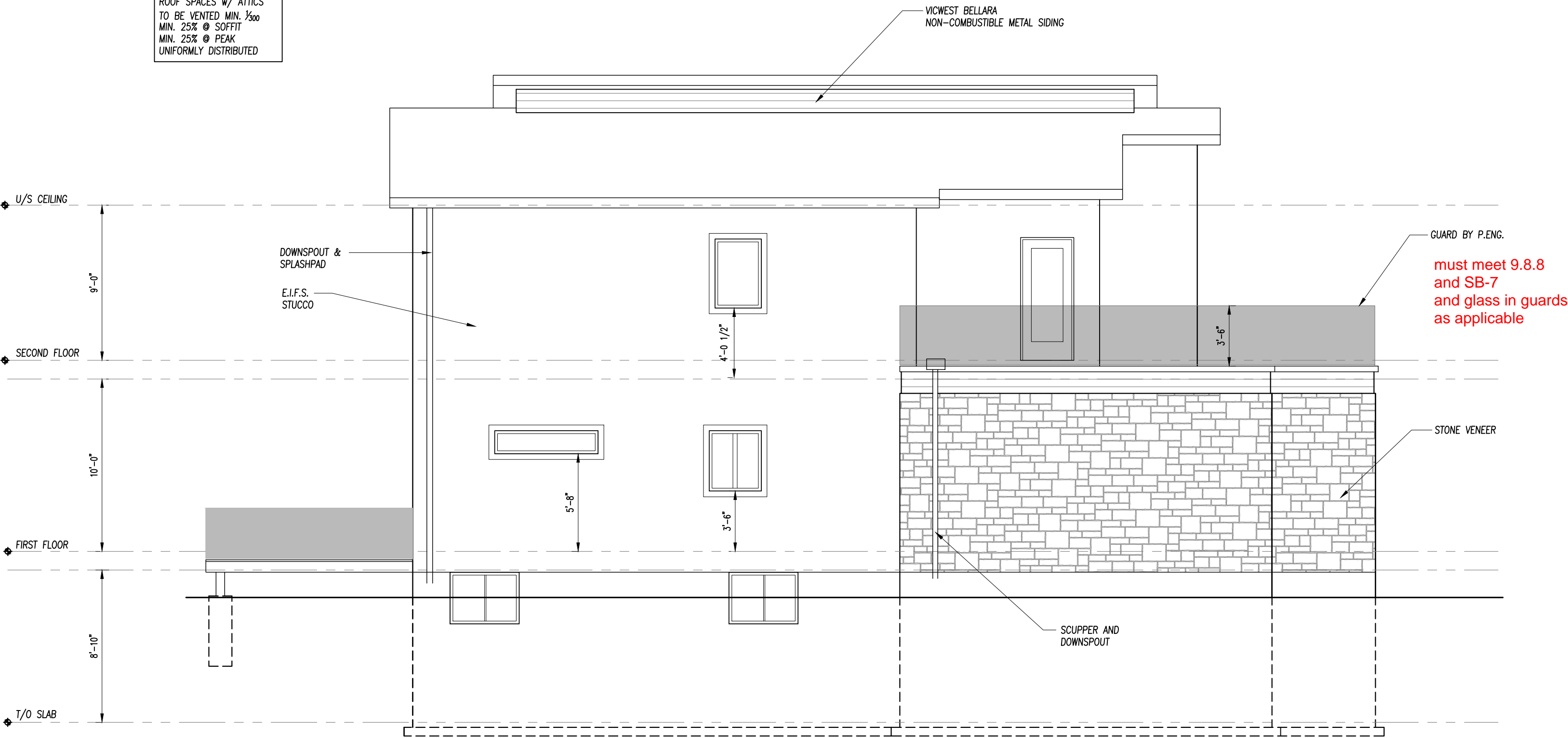
Drawing Title

Elevations

DATE: 01/09/2024
SCALE: AS NOTED
DRAWN: R.O.
REVIEWED: R.O.
FILE No:
PROJECT No:

A2.02

NOTE:
ROOF SPACES w/ ATTICS
TO BE VENTED MIN. 1/300
MIN. 25% @ SOFFIT
MIN. 25% @ PEAK
UNIFORMLY DISTRIBUTED



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EBF = 924 FT² (85.8 M²)
LIMITING DISTANCE - 1.2M
MAX. PERMITTED GLAZING 7% - 64.6 FT² (6.01 M²)
TOTAL AREA OF PROPOSED GLAZING - 63.4 FT²

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Home Owner

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Custom Homes

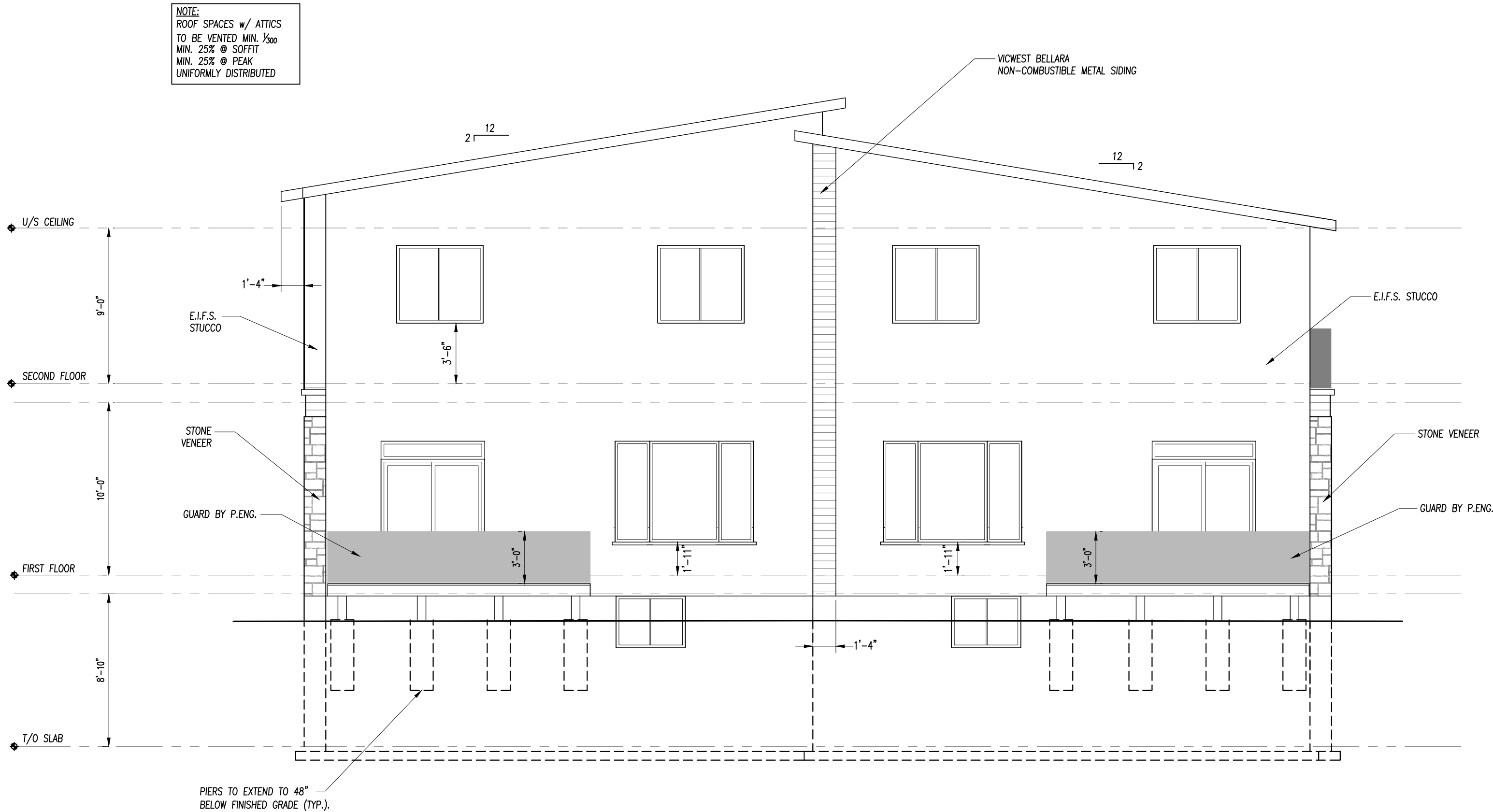
34 Alberta St.
Grand Bend, ON

Drawing Title

Elevations

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SCALE: AS NOTED
DRAWN: R.O.
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FILE No:
PROJECT No:

A2.03



EAST ELEVATION
SCALE: 3/16" = 1'-0"

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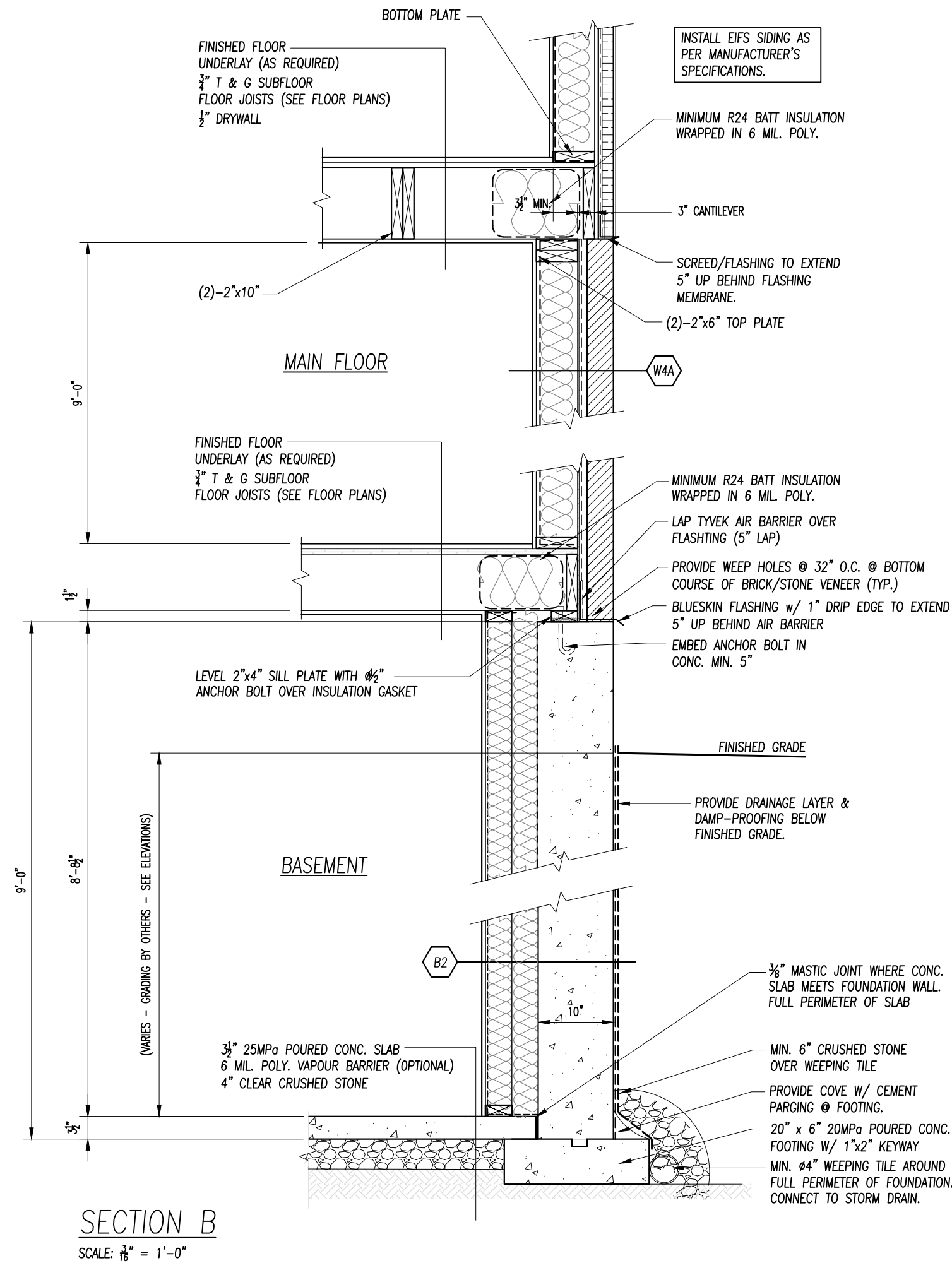
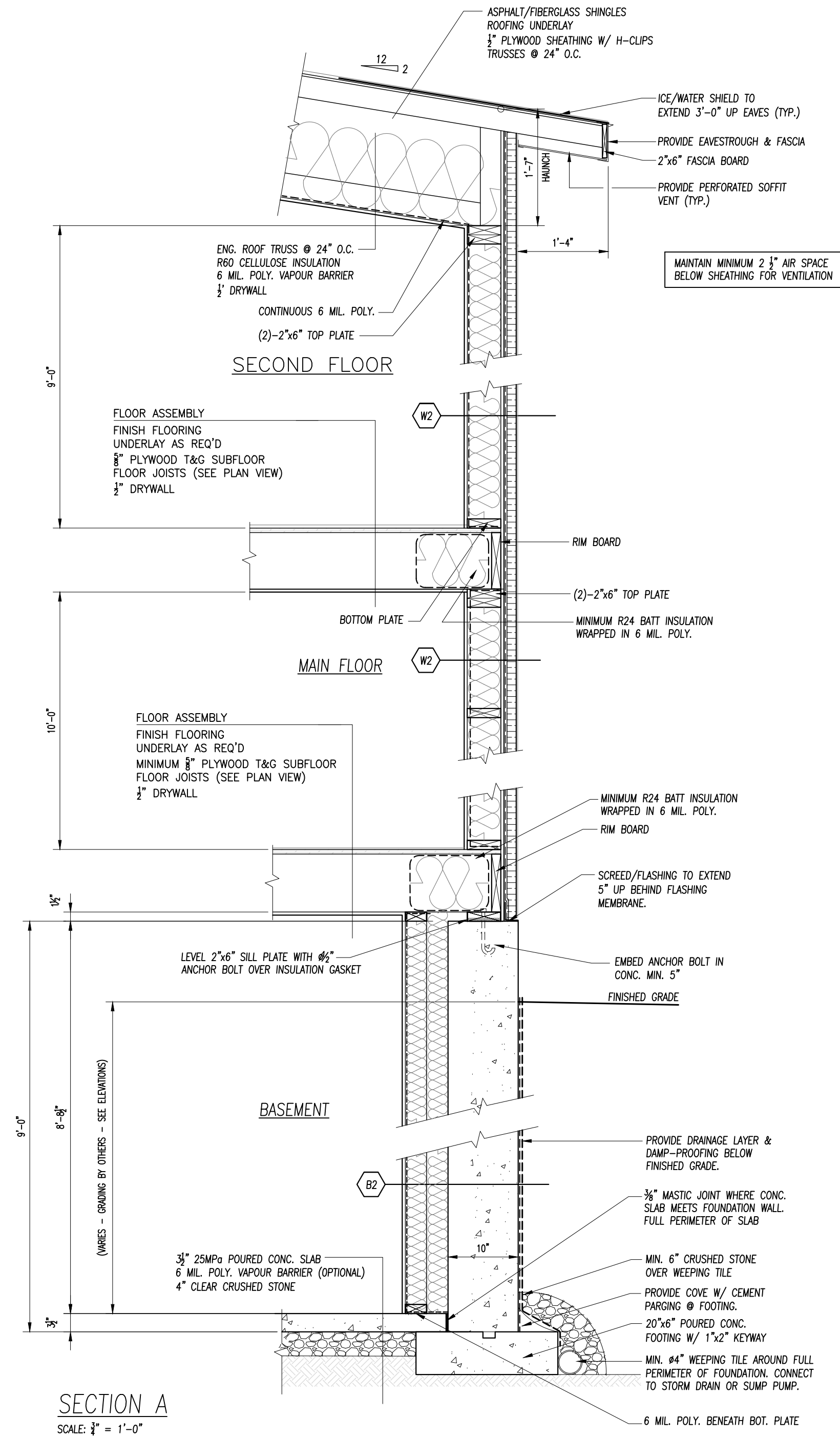
34 Alberta St.
Grand Bend, ON

Drawing Title

Elevations

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FILE No:
PROJECT No:

A2.04



BOSK - DESIGN

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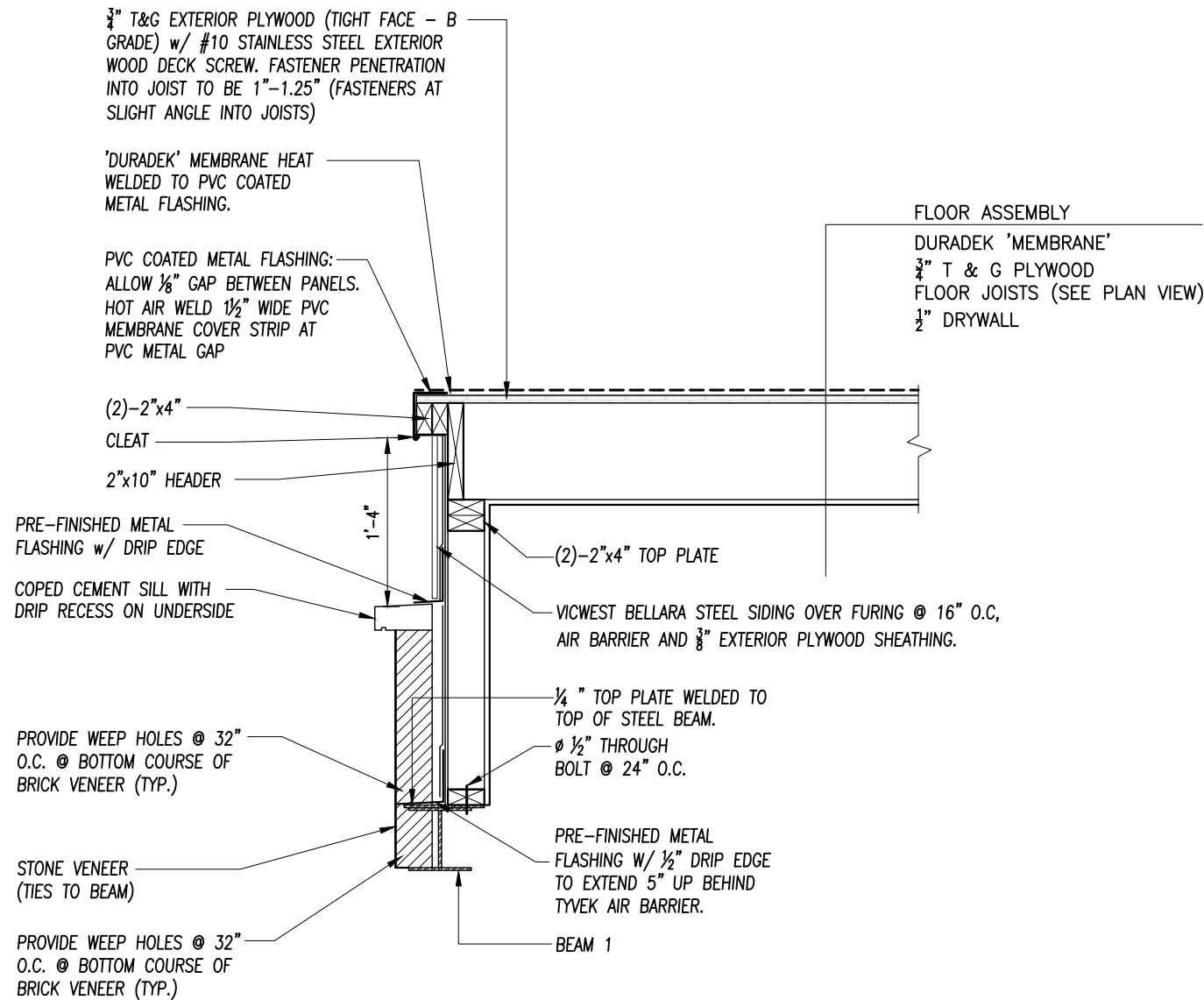
Drawing Title

Details

DATE: 01/09/2024
SCALE: AS NOTED
DRAWN: R.O.
REVIEWED: R.O.
FILE No:
PROJECT No:

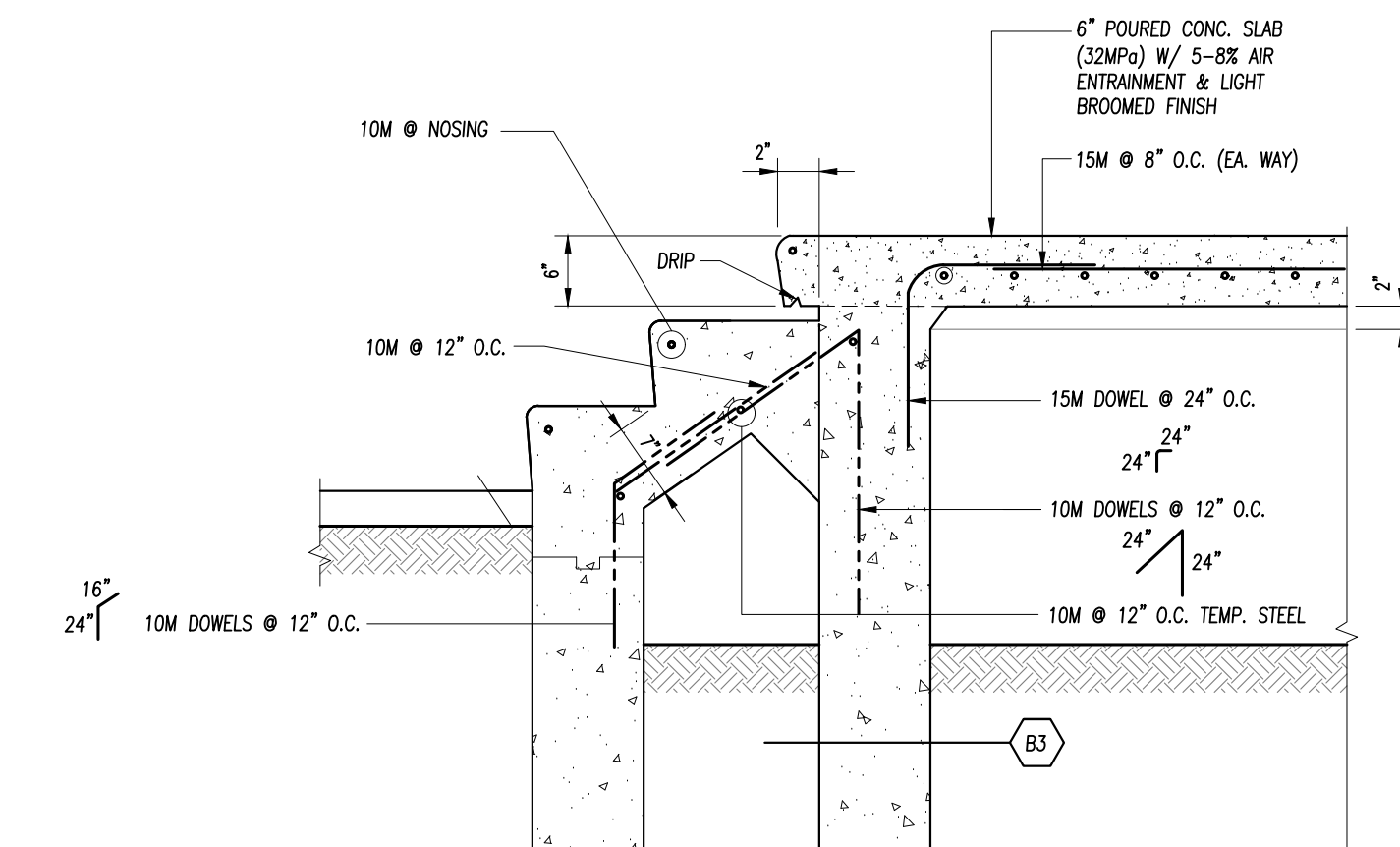
A3.01

INSTALL DURADEK AND SUBSTRATE IN COMPLIANCE w/ MANUFACTURER'S SPECIFICATIONS. REFER TO DURADEK INSTALLATION DETAILS PROVIDED BY MANUFACTURER FOR ADDITIONAL INFORMATION.



SECTION C

SCALE: 1" = 1'-0"

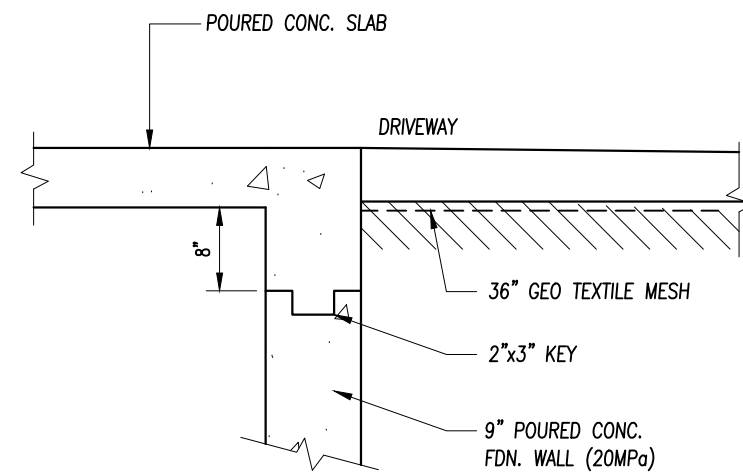


SECTION E

SCALE: 3/4" = 1'-0"

CONC. STAIR
9 RISERS @ 7 1/8"
8 RUN @ 12" EA.
CONTRACTOR TO VERIFY ON SITE

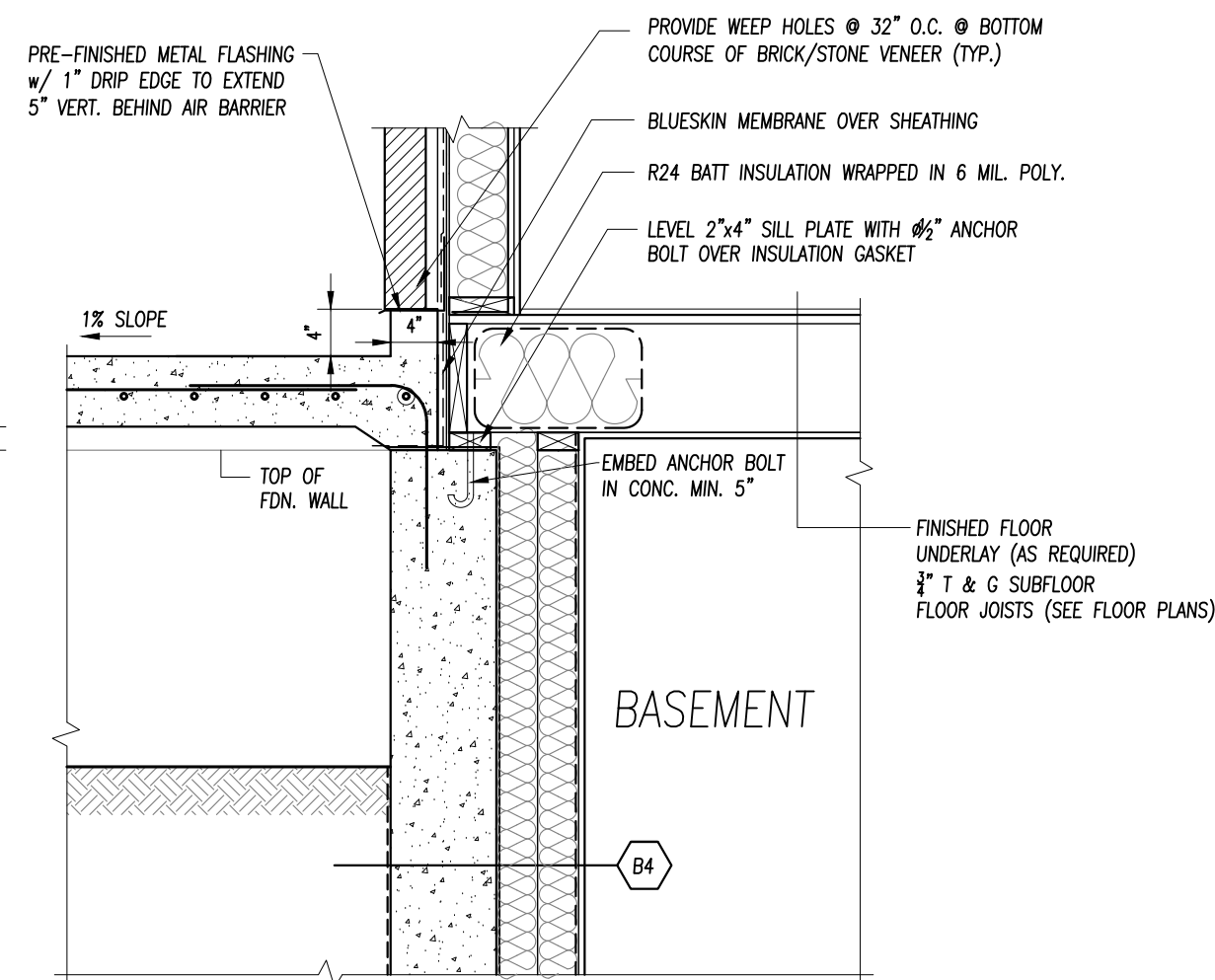
CONC. COVER FOR REINFORCING STEEL:
TOP & SIDES: MIN. 2"
BOTTOM: MIN. 1.5"



SECTION D - APRON DETAIL @ GARAGE

SCALE: 3/4" = 1'-0"

NOTE:
NUMBER OF RISERS TO BE DETERMINED ON SITE



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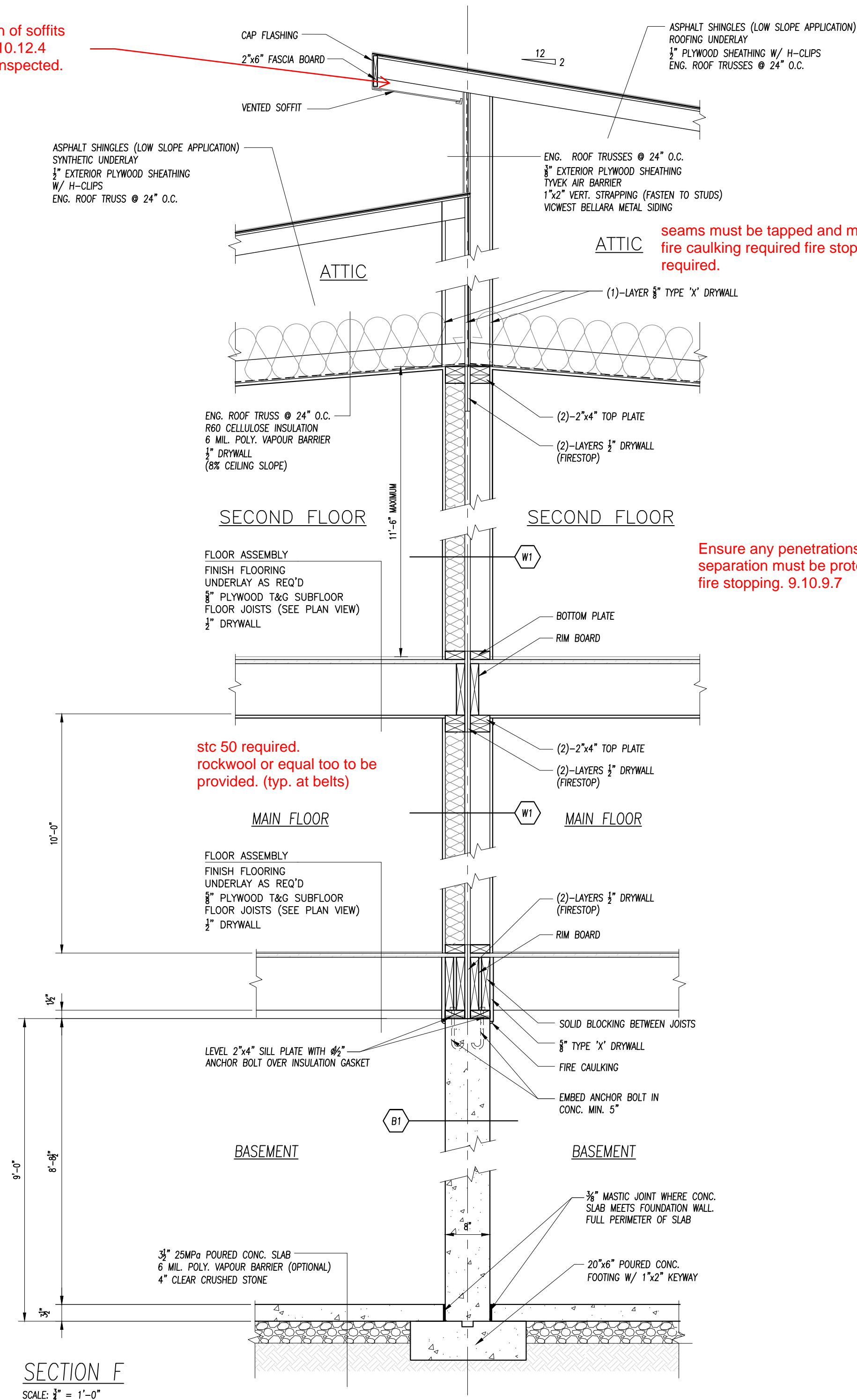
Drawing Title

Details

DATE: 01/09/2024
SCALE: AS NOTED
DRAWN: R.O.
REVIEWED: R.O.
FILE No:
PROJECT No:

A3.02

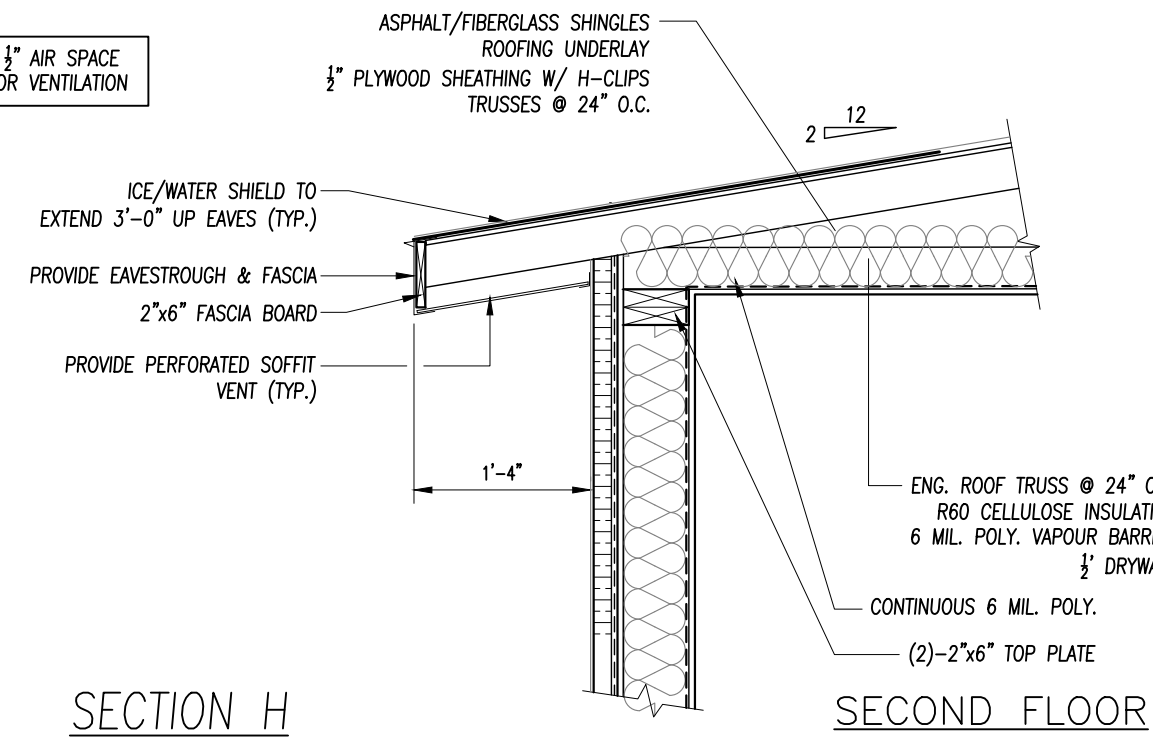
Protection of soffits
as per 9.10.12.4
must be inspected.



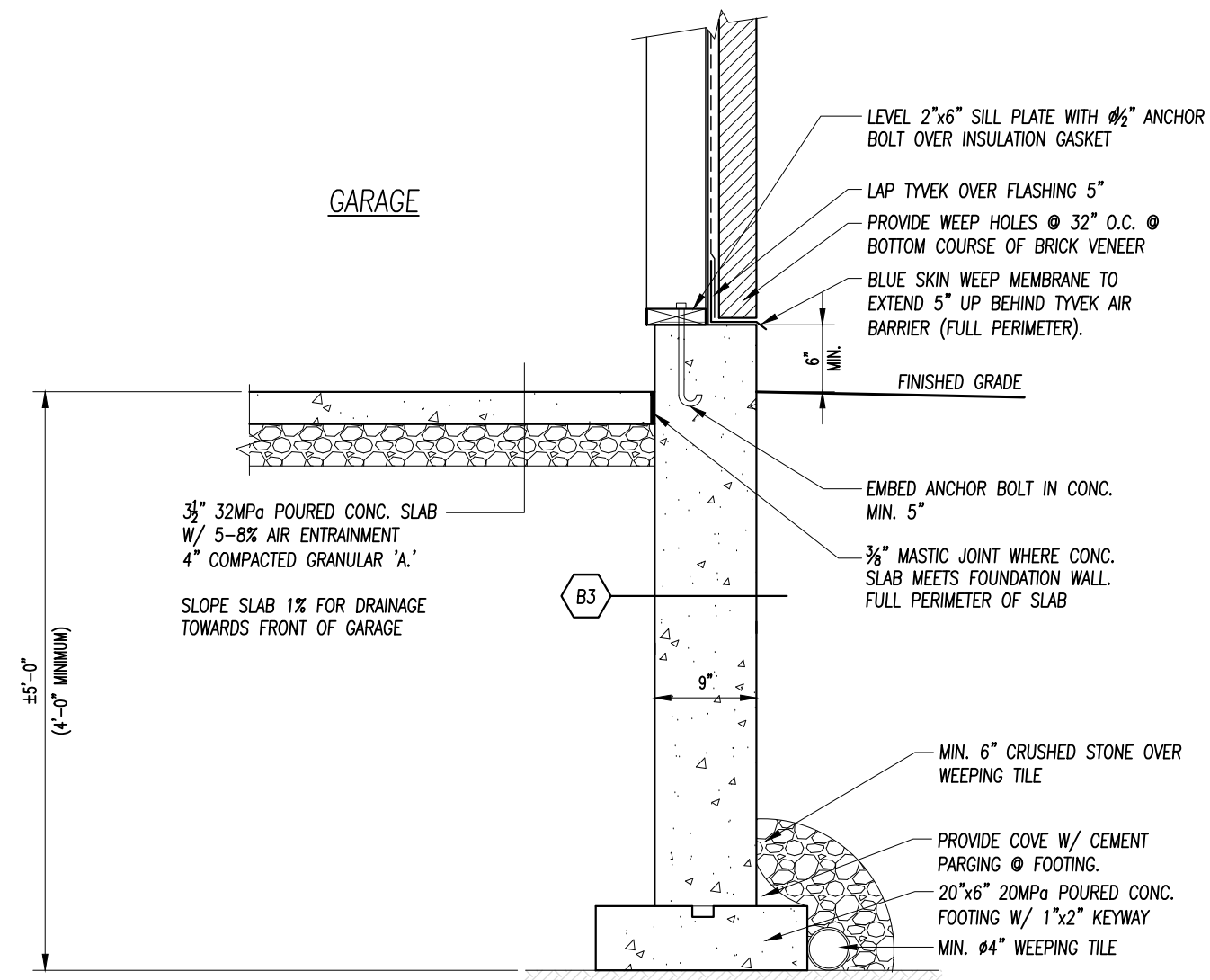
MAINTAIN MINIMUM 2 1/2" AIR SPACE
BELOW SHEATHING FOR VENTILATION

seams must be tapped and mudded
fire caulking required fire stops as
required.

Ensure any penetrations through fire
separation must be protected with
fire stopping. 9.10.9.7



SECTION H
SCALE: 3/8" = 1'-0"



SECTION G
SCALE: 3/8" = 1'-0"

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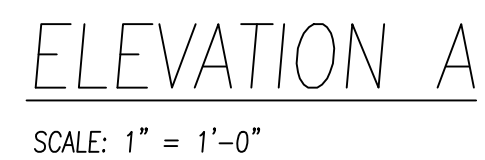
34 Alberta St.
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Drawing Title

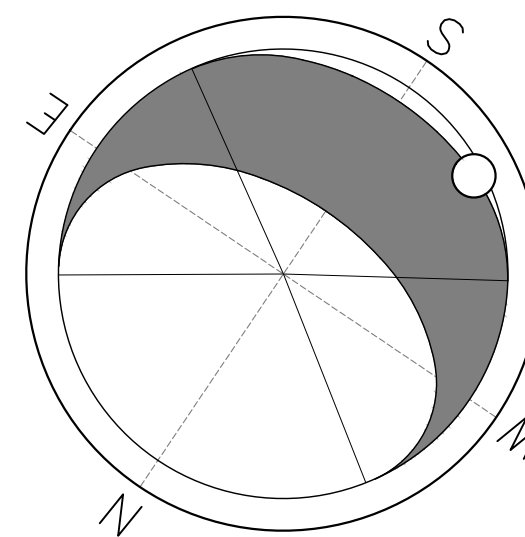
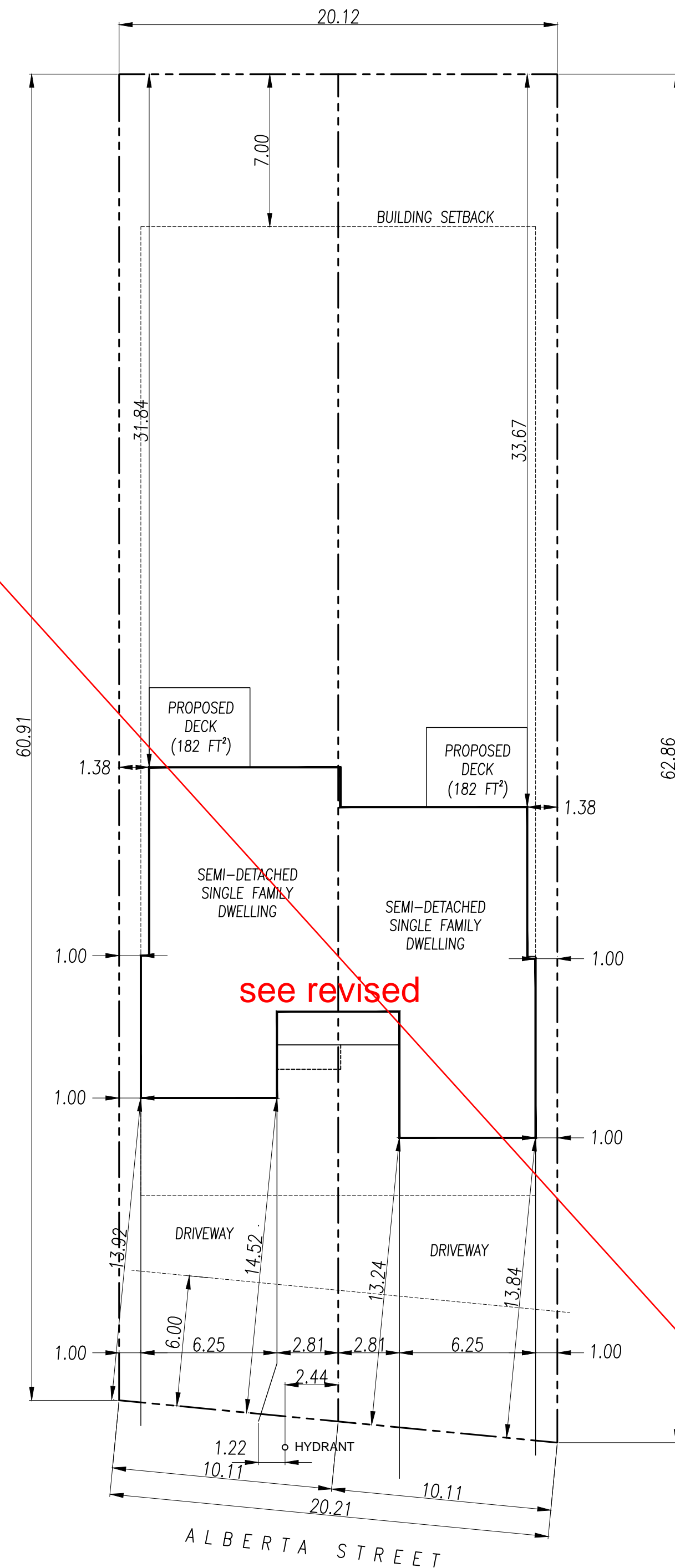
Sections

DATE: 01/09/2024
SCALE: AS NOTED
DRAWN: R.O.
REVIEWED: R.O.
FILE No:
PROJECT No:

A4.01



A4.02



PROJECT INFORMATION AND SITE STATISTICS

MUNICIPAL ADDRESS:
34 ALBERTA STREET

ZONING DESIGNATION: R1

LOT AREA

EASTERLY LOT: 597.83 M² (6,435 FT²)
WESTERLY LOT: 614.18 M² (6,611 FT²)

LOT COVERAGE

EASTERLY LOT COVERED AREA: 1,405 FT² (21.8%)
WESTERLY LOT COVERED AREA: 1,326 FT² (20.0%)

LANDSCAPED OPEN SPACE

EASTERLY LOT COVERED AREA: 4,289 FT² (66.6%)
WESTERLY LOT COVERED AREA: 4,514 FT² (68.2%)

NOTE:
ALL SITE PLAN DIMENSIONS ARE
TO BE VERIFIED BY AN ONTARIO
REGISTERED LAND SURVEYOR

SITE PLAN
SCALE: 1/16" = 1'-0"

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Site Plan

DATE: 01/09/2024
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S0.01