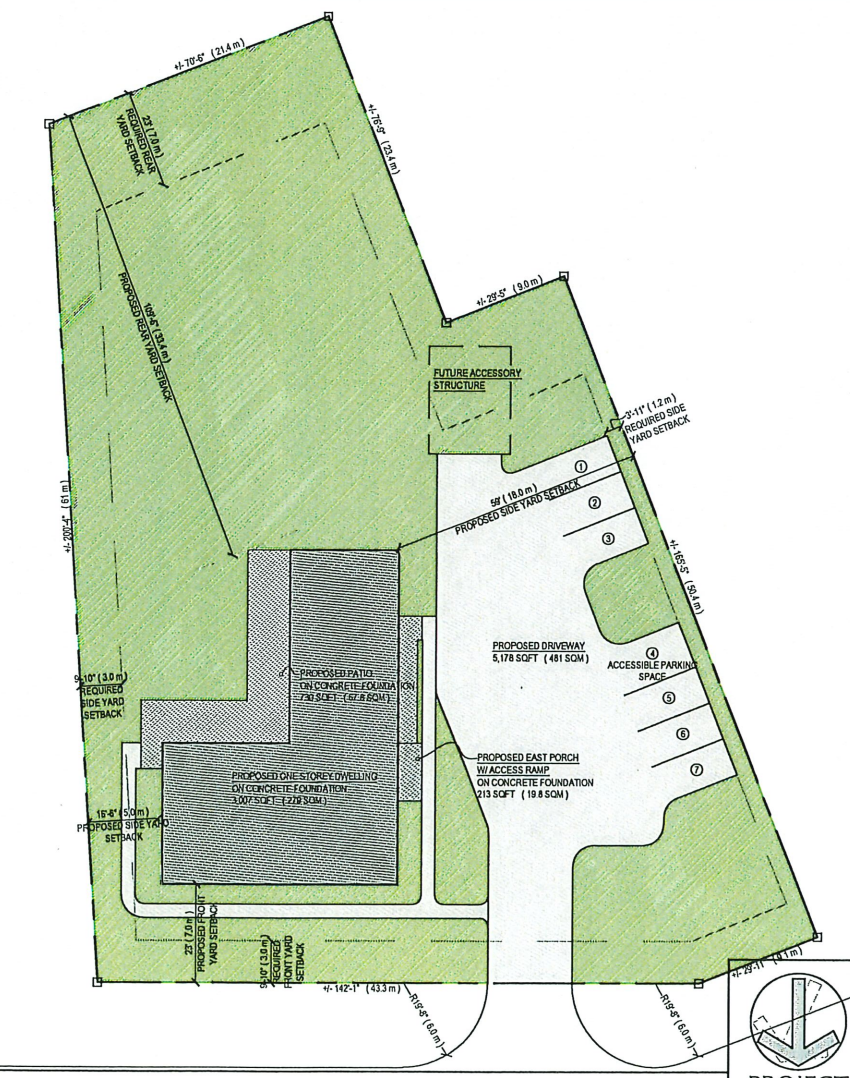


**FIRE SEPARATIONS / SOUND TRANSMISSION**  
SCALE 1/16" = 1'-0" SEE ASSEMBLY SECTIONS AND NOTES ON SHEETS A3 AND A4

**SITE DATA**

ZONED REGULATIONS	PROPOSED
MINIMUM LOT AREA	2,572 m <sup>2</sup> (27,680 ft <sup>2</sup> )
MINIMUM FRONT YARD SETBACK (NORTH)	7.0 m (23'-0")
MINIMUM INTERIOR SIDE YARD SETBACK (WEST)	5.0 m (15'-6")
MINIMUM INTERIOR SIDE YARD SETBACK (EAST)	18.0 m (59'-0")
MINIMUM REAR YARD SETBACK (SOUTH)	33.4 m (109'-6")
MAXIMUM BUILDING HEIGHT	7.1 m (23'-4")
MAXIMUM LOT COVERAGE	13.7% (3,759 ft <sup>2</sup> )
MINIMUM LANDSCAPED OPEN SPACE	67.6% (18,703 ft <sup>2</sup> )



**SITE PLAN**  
SCALE 1" = 20'-0"

**LIST OF DRAWINGS**

- A1 SITE PLAN / SITE DATA / REQUIRED DOCUMENTATION / EXTERIOR RENDERINGS
- A2 FOUNDATION PLAN / FOUNDATION DETAILS / SILL PLATE PLACEMENT
- A3 BASEMENT FLOOR PLAN / STAIR SECTION @ FOYER / STAIR SECTION @ EAST ENTRANCE
- A4 MAIN FLOOR PLAN / MAIN FLOOR WINDOW & DOOR SCHEDULE / FIREPLACE ELEVATION
- A5 MAIN FLOOR FRAMING PLAN / FLOOR FRAMING DETAILS
- A6 ROOF FRAMING PLAN / ROOF HEEL CONDITIONS / TIMBER TRUSS DETAILS
- A7 NORTH FACING ELEVATION / SOUTH FACING ELEVATION / WALL SECTION
- A8 EAST FACING ELEVATION / WEST FACING ELEVATION / WALL SECTION

**GENERAL NOTES:**

1. INDIVIDUAL DRAWINGS, NOTES AND/OR DETAILS MUST BE READ IN CONJUNCTION WITH THE ENTIRE PLAN.
2. THE CONTRACTOR IS TO REVIEW ALL DIMENSIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO THE START OF CONSTRUCTION.
3. ALL WORK MUST CONFORM TO THE ONTARIO BUILDING CODE (LATEST EDITION) AND ANY MUNICIPAL BY-LAWS AND / OR CONSERVATION AUTHORITY REGULATIONS.
4. SUPPLIERS OF ENGINEERED MATERIAL (LVL, LSL, PSL, ENGINEERED JOISTS, ROOF TRUSSES ETC.) MUST SUBMIT DESIGN DRAWINGS BEARING THE STAMP OF A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.

**THERMAL PERFORMANCE:**

THIS BUILDING DESIGN MEETS OR EXCEEDS THE MINIMUM REQUIRED VALUES LISTED IN TABLE 3.1.1.2.A (P) OF SB-12 OF THE ONTARIO BUILDING CODE FOR COMPLIANCE PACKAGE 'A'.

COMPONENT	PACKAGE 'A'
CEILING WITH ATTIC SPACE	(R60)
CEILING WITHOUT ATTIC SPACE	(R31)
EXPOSED FLOOR	(R31)
WALLS ABOVE FINISHED GRADE	(R22 + 5 c)
BASEMENT WALLS	(R12 + 10 c)
HEATED SLAB	(R10)
WINDOWS & GLASS DOORS	1.8 U
SKYLIGHTS	2.8 U
SPACE HEATING MINIMUM AFUE	96 %
HRV MINIMUM EFFICIENCY	75 %
WATER HEATER MINIMUM AFUE	0.67

THE RATIO OF GROSS AREA OF GLAZING TO THE GROSS AREA OF THE PERIPHERAL WALLS MEASURED FROM GRADE TO CEILING COMPLIES WITH 3.1.1.1.(7) OF SB-12 OF THE ONTARIO BUILDING CODE.

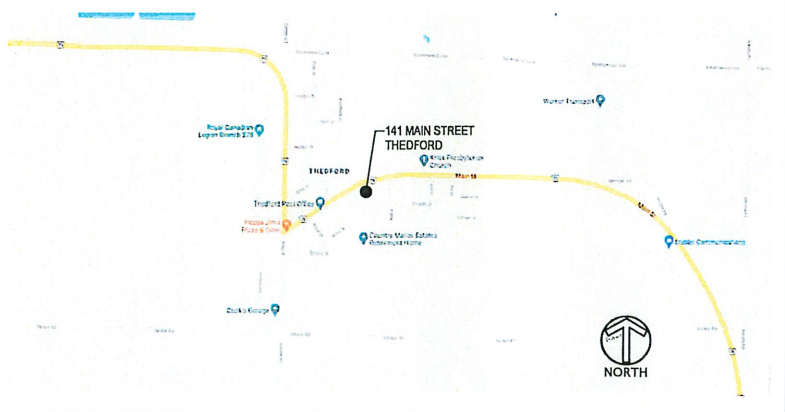
GROSS AREA OF GLAZING	431 SQFT
GROSS AREA OF PERIPHERAL WALLS	3,168 SQFT
PERCENTAGE OF GLAZING	13.6 %

**SMOKE ALARMS (OBC 9.10.19.3. & 9.10.19.4.):**

- AT LEAST ONE SMOKE ALARM IS REQUIRED ON EACH FLOOR
- ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOMS, A SMOKE ALARM SHALL BE INSTALLED, (i) IN EACH SLEEPING ROOM, AND (ii) IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.
- SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING.
- SMOKE ALARMS SHALL BE INSTALLED BY PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT WITH NO DISCONNECT SWITCH.
- SMOKE ALARMS SHALL BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE.
- SMOKE ALARMS SHALL BE INTERCONNECTED WITH EACH DWELLING UNIT.

**AREA CALCULATIONS**

	MAIN FLOOR	BASEMENT	TOTALS
LIVING SPACE (INSIDE OF STUD)	2,765 SQFT	LIVING SPACE (INSIDE OF STUD)	2,668 SQFT
LIVING SPACE (OUTSIDE OF STUD)	2,865 SQFT	LIVING SPACE (OUTSIDE OF STUD)	2,743 SQFT
LIVING SPACE (OUTSIDE OF BRICK)	3,007 SQFT	LIVING SPACE (OUTSIDE OF FOUND.)	3,007 SQFT
COVERED PORCH	62 SQFT	LIVING SPACE (INSIDE OF STUD)	5,433 SQFT
EAST PATIO	730 SQFT	LIVING SPACE (OUTSIDE OF STUD)	6,628 SQFT
		TOTAL BUILDING FOOTPRINT	3,759 SQFT

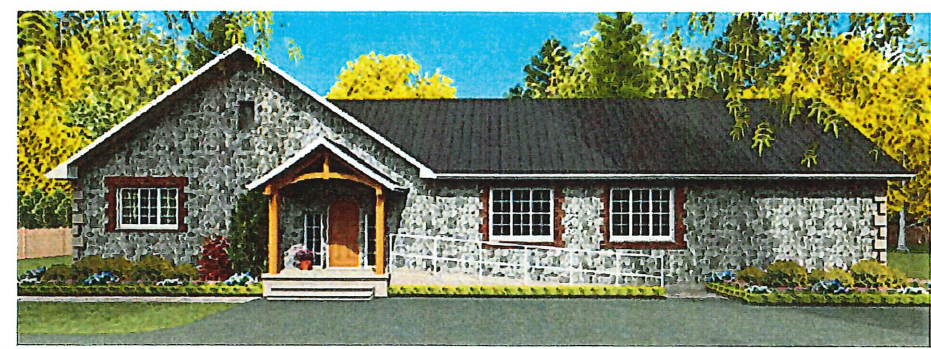


**KEY MAP**



**SITE PHOTO**

**CONCEPTUAL RENDERINGS**



**REQUIRED DOCUMENTATION**

PRIOR TO THE RELEASE OF A SCHEDULE 1 FOR PERMIT APPLICATION THE FOLLOWING SEALED, ENGINEERED DRAWINGS ARE REQUIRED:

ID MARK	DOCUMENTATION	LOCATION	SHEET REF.
G-1	ROOF TRUSS DRAWINGS AND LAYOUT		A3/A5
G-2	ENGINEERED FLOOR JOIST DRAWINGS AND LAYOUT		A3/A5
G-3	ENGINEERED TIMBER TRUSS DETAIL		A5/A6

ID MARK	DOCUMENTATION	SUPPLIER ID MARK	SIZE	LOCATION	SHEET REF.
L-1	LDGNC	L-1	1 PLY 1-3/4" x 14" (2.0E)	ENGINEERED HEADER OVER W-001	A3/A5
L-2	LDGNC	L-2	1 PLY 1-3/4" x 14" (2.0E)	ENGINEERED HEADER OVER W-002	A3/A5
L-3	LDGNC	L-3	1 PLY 1-3/4" x 14" (2.0E)	ENGINEERED HEADER OVER W-003	A3/A5
L-4	LDGNC	L-4	1 PLY 1-3/4" x 14" (2.0E)	ENGINEERED HEADER OVER W-004	A3/A5
L-5	LDGNC	L-5	1 PLY 1-3/4" x 14" (2.0E)	ENGINEERED HEADER OVER W-005	A3/A5
L-6	LDGNC	L-6	1 PLY 1-3/4" x 14" (2.0E)	ENGINEERED HEADER OVER W-006	A3/A5
L-7	LDGNC	L-7	2-2 x 10 SPF #2	ENGINEERED HEADER OVER FITNESS ROOM DOOR	A3/A5

ID MARK	DOCUMENTATION	SUPPLIER ID MARK	SIZE	LOCATION	SHEET REF.
B-1	LDGNC	B-1	1 PLY 1-3/4" x 14" (2.0E)	ENGINEERED FLUSH FLOOR BEAM AT EAST STAIR	A3/A5
B-2	LDGNC	B-2	1 PLY 1-3/4" x 14" (2.0E)	ENGINEERED FLUSH FLOOR BEAM AT EAST STAIR	A3/A5
B-3	LDGNC	B-3	2 PLY 1-3/4" x 14" (2.0E)	ENGINEERED FLUSH FLOOR BEAM AT EAST STAIR	A3/A5
B-4	SBM/INC			ENGINEERED STEEL BEAM AT FIREPLACE	A3/A5
B-5	LDGNC	B-5	1 PLY 1-3/4" x 14" (2.0E)	ENGINEERED FLUSH FLOOR BEAM AT WEST STAIR	A3/A5
B-6	LDGNC	B-6	1 PLY 1-3/4" x 14" (2.0E)	ENGINEERED FLUSH FLOOR BEAM AT WEST STAIR	A3/A5

**LUCAS DESIGN GROUP INC.**  
RESIDENTIAL DESIGN SERVICES  
PH: 519-331-6982  
lucasdsgn@lvg.ca

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE UNDER DIVISION 10.2. SUBSECTION 10.2.1 TO BE A DESIGNER.  
DESIGNER B/CN  
P/141/PCN  
30761  
10509

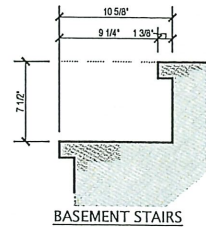
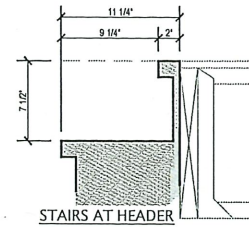
NEW RESIDENCE FOR:  
**KAREN ALBERTI**  
MUNICIPALITY OF LAMBTON SHORES  
141 MAIN STREET, THEFORD  
**COVER SHEET / SITE PLAN**

**ISSUES & REVISIONS**

DATE	ISSUE / REVISION
DEC 16, 2019	PRELIMINARY DESIGN DRAWINGS ISSUED FOR GENERAL REVIEW
MAR 17, 2020	REVISED DESIGN DRAWINGS ISSUED FOR GENERAL REVIEW
APR 20, 2020	REVISED DESIGN DRAWINGS ISSUED FOR GENERAL REVIEW
MAY 6, 2020	PRELIMINARY CONSTRUCTION DRAWINGS ISSUED FOR GENERAL REVIEW

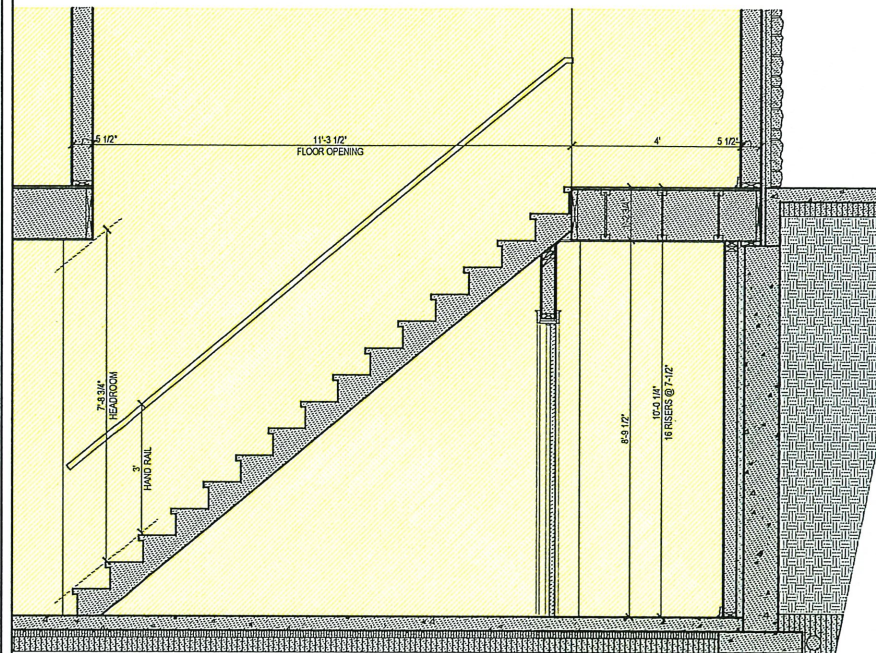
DATE: MAY 6, 2020  
SCALE: AS NOTED  
PROJECT: 19-563

SHEET:  
**A1**



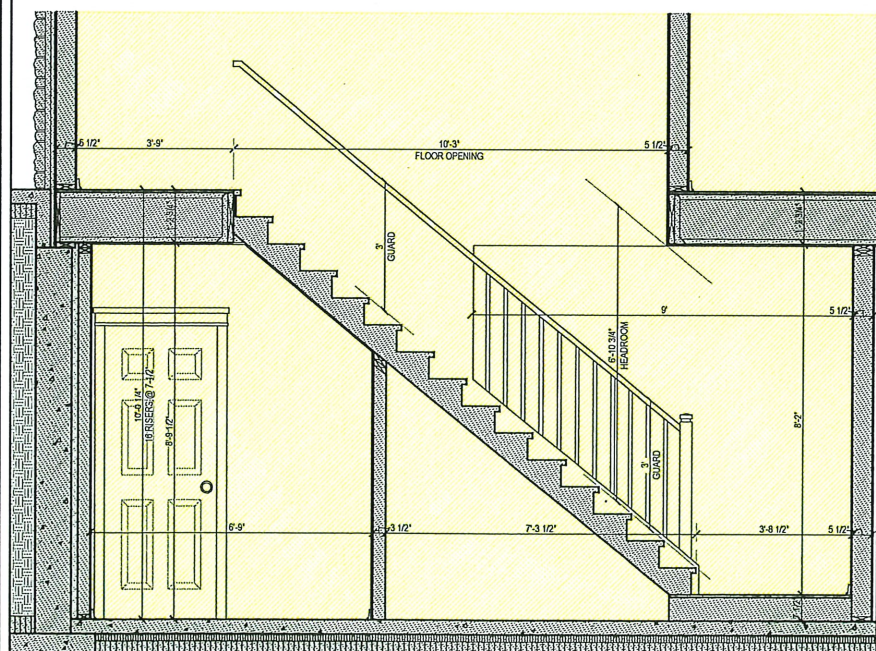
**TREAD & RISER DIMENSIONS**

SCALE 1/12" = 1'-0"



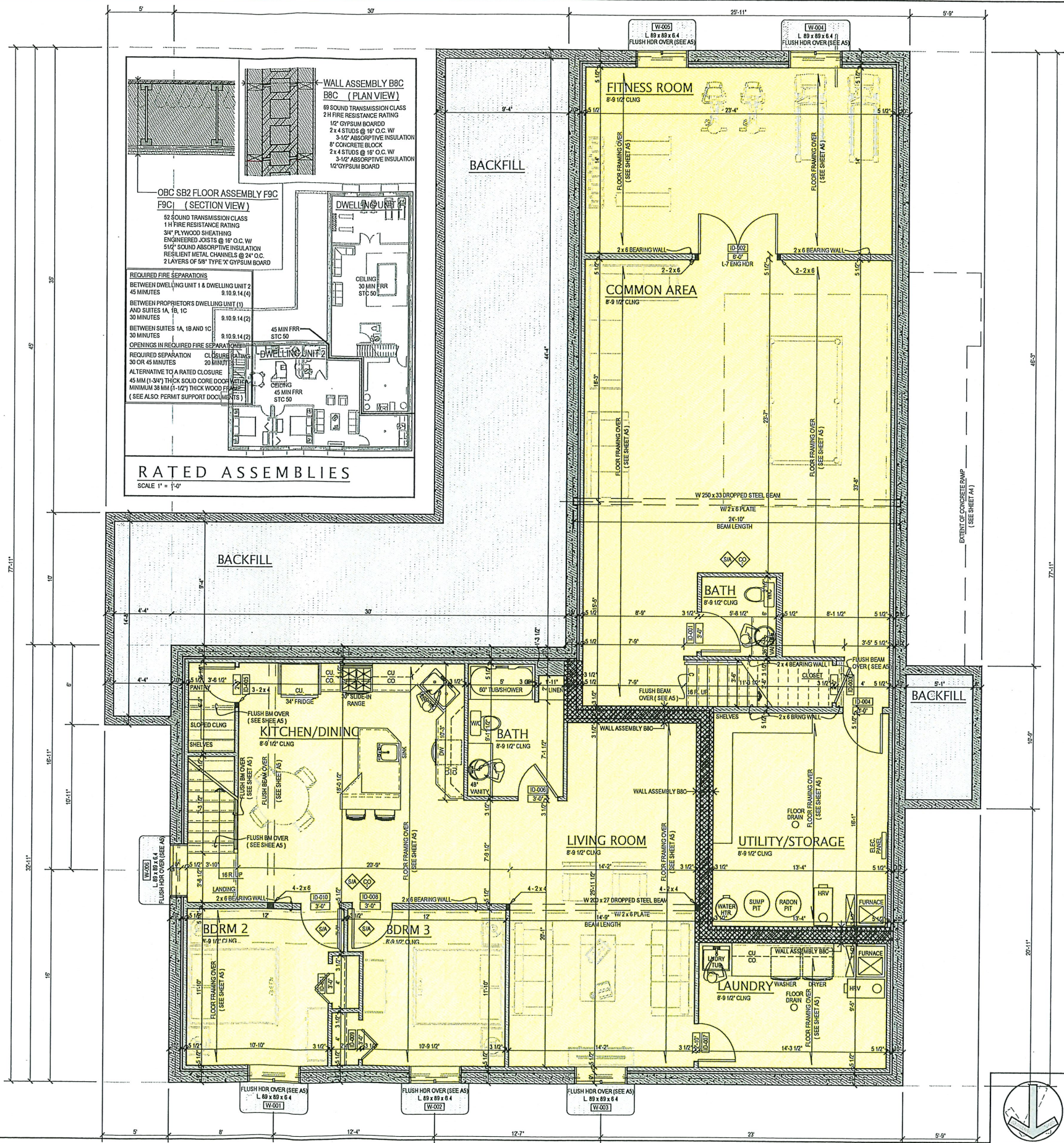
**STAIR SECTION - FOYER**

SCALE 1/2" = 1'-0"



**STAIR SECTION - EAST ENTRANCE**

SCALE 1/2" = 1'-0"



**RATED ASSEMBLIES**

SCALE 1" = 1'-0"

**BASEMENT FLOOR PLAN - 2743 SQFT**

SCALE 1/4" = 1'-0" MEASURED AT OUTSIDE EDGE OF STUD

**LUCAS DESIGN GROUP INC.**  
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lucasdesign@lvg.ca

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DRAWING AND THE INFORMATION SET OUT IN THE OFFICIAL BUILDING CODE TO BE A DESIGNER.  
DESIGNER BCIN 35751 19969  
FIRM BCIN

NEW RESIDENCE FOR:  
**KAREN ALBERTI**  
MUNICIPALITY OF LAMBTON SHORES  
141 MAIN STREET, THEDFORD  
**BASEMENT FLOOR PLAN**

**ISSUES & REVISIONS**

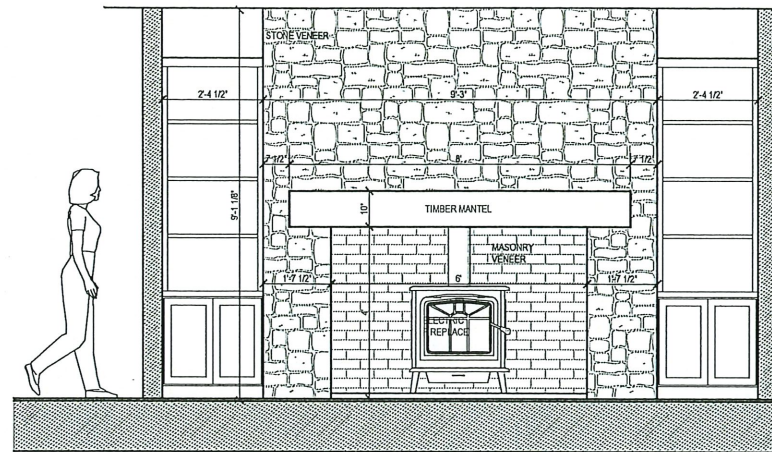
DEC 16, 2019	PRELIMINARY DESIGN DRAWINGS ISSUED FOR GENERAL REVIEW
MAR 17, 2020	REVISED DESIGN DRAWINGS ISSUED FOR GENERAL REVIEW
APR 20, 2020	REVISED DESIGN DRAWINGS ISSUED FOR GENERAL REVIEW
MAY 6, 2020	PRELIMINARY CONSTRUCTION DRAWINGS ISSUED FOR GENERAL REVIEW

DATE: MAY 6, 2020  
SCALE: AS NOTED  
PROJECT: 19-563

SHEET:



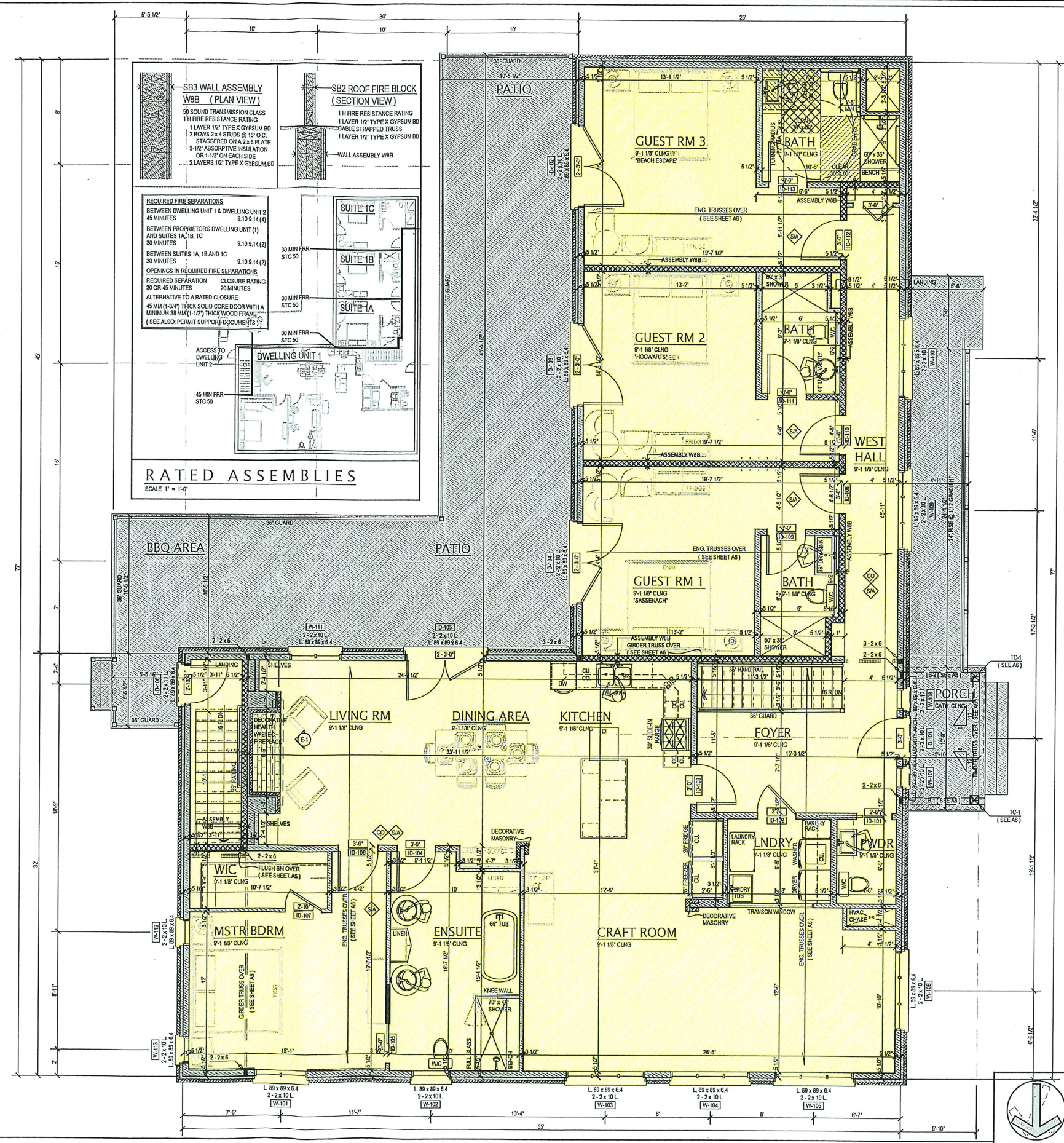
**A3**



**FIREPLACE ELEVATION**  
SCALE 1/2" = 1'-0"

Window & Door Schedule Table with columns for window/door type, size, and area (e.g., W-01, 6'-0" x 8'-0", 18 SQFT).

**WINDOW & DOOR SCHEDULE**  
SCALE 1/4" = 1'-0"



**MAIN FLOOR PLAN - 2885 SQFT**  
SCALE 1/4" = 1'-0"  
MEASURED AT OUTSIDE EDGE OF STUD



**LUCAS DESIGN GROUP INC.**  
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FOREST, ONTARIO  
PH: 919-331-8882  
lucasdsgn@live.ca

DESIGNER: KAREN ALBERTI  
DATE: MAY 6, 2020

**KAREN ALBERTI**  
MUNICIPALITY OF LAMBTON SHORES  
141 MAIN STREET, THEBROOK  
NEW RESIDENCE FOR:

Issues & Revisions Table with columns for date, description, and reviewer (e.g., DEC 16, 2019, PRELIMINARY DESIGN DRAWINGS ISSUED FOR GENERAL REVIEW).

DATE: MAY 6, 2020  
SCALE: AS NOTED  
PROJECT: 19-563

SHEET: **A4**